

# Harbour Point, Bray

Masterplan Document

ballymore.

GPS

ATKINS

ph

Glenn Howells Architects



# Introduction

This masterplan has been prepared by Glenn Howells Architects (GHA), architects and urban designers with a long history of collaboration with Ballymore. Ballymore commissioned the masterplan to guide the development of the former Bray Golf Club Lands in recognition of the strategic significance and size of the landholding.

It is intended as an overarching document setting out key design principles and illustrating how the lands can be built out in accordance with the objectives for the site set out in the Dun Laoghaire Rathdown Development Plan, Wicklow County Development Plan, the Bray Municipal District Local Area Plan, the Best Practice Urban Design Manual (2009) and the principles of sustainable development.

This plan presents Ballymore's vision for the build out of the landholding. It is not a statutory plan, has not been endorsed by any planning authority and is not intended to be rigidly adhered to.

Design teams appointed to work up specific districts within the land holding will bring their own ideas to the project, responding to specific site constraints and feedback from stakeholders.

The masterplan analyses the character and morphology of Bray, the constraints and opportunities presented by the site itself, and puts forward a vision of how the site can be developed as a 21st century extension to Bray Town Centre, respecting and reinterpreting the town's character and ensuring the lands are built out in an orderly, attractive, and coherent way.

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# 1.0 Ballymore



**39**

Years in Business



**2,000** Completions  
in 2019 (UK & Ireland)



**7,500** homes completed  
in last 5 years



**4,500** homes currently  
under construction



**800+**

Employees



**10,000** homes managed by  
Ballymore Asset Management



**6,000** homes - our capacity  
to deliver in forward landbank



**10** large scale mixed-use  
developments under  
construction in Ireland



**€500m**

construction  
Turnover in 2019



**2 million**

sq ft commercial space in  
our landbank

# 1.1 The Design Team

Client



Masterplan Architect

Glenn Howells Architects

Planning Consultant



Civil, Structural & Environment Engineers



Landscape Architects



Project Architects

Glenn Howells Architects

# 1.2 Key Projects

Project: Royal Wharf

Client : Oxley Holdings and Ballymore

Location: Royal Docks, London

Size: 17ha, 3.,385 Homes

Status: Complete

Royal Wharf is an entirely new neighbourhood along the Thames riverfront in east London. GHA masterplanned all 17 ha of the former brownfield site for Ballymore, creating a community of homes for 10,000 residents including many family townhouses, a school and community centre.

As well as providing the detailed design for 1,700 units out of the nearly 3,385 in total, GHA is acting as the design champion for the scheme for the London Borough of Newham. This includes guiding the involvement of other selected practices that are working on building envelopes, liaising with the GLA, and ensuring that a legible layout with active frontages is achieved in practice.



# 1.2 Key Projects

Project: London City Island  
Client : Ecoworld Ballymore  
Location: London  
Size: 1,706 Apartments  
Status: Complete.

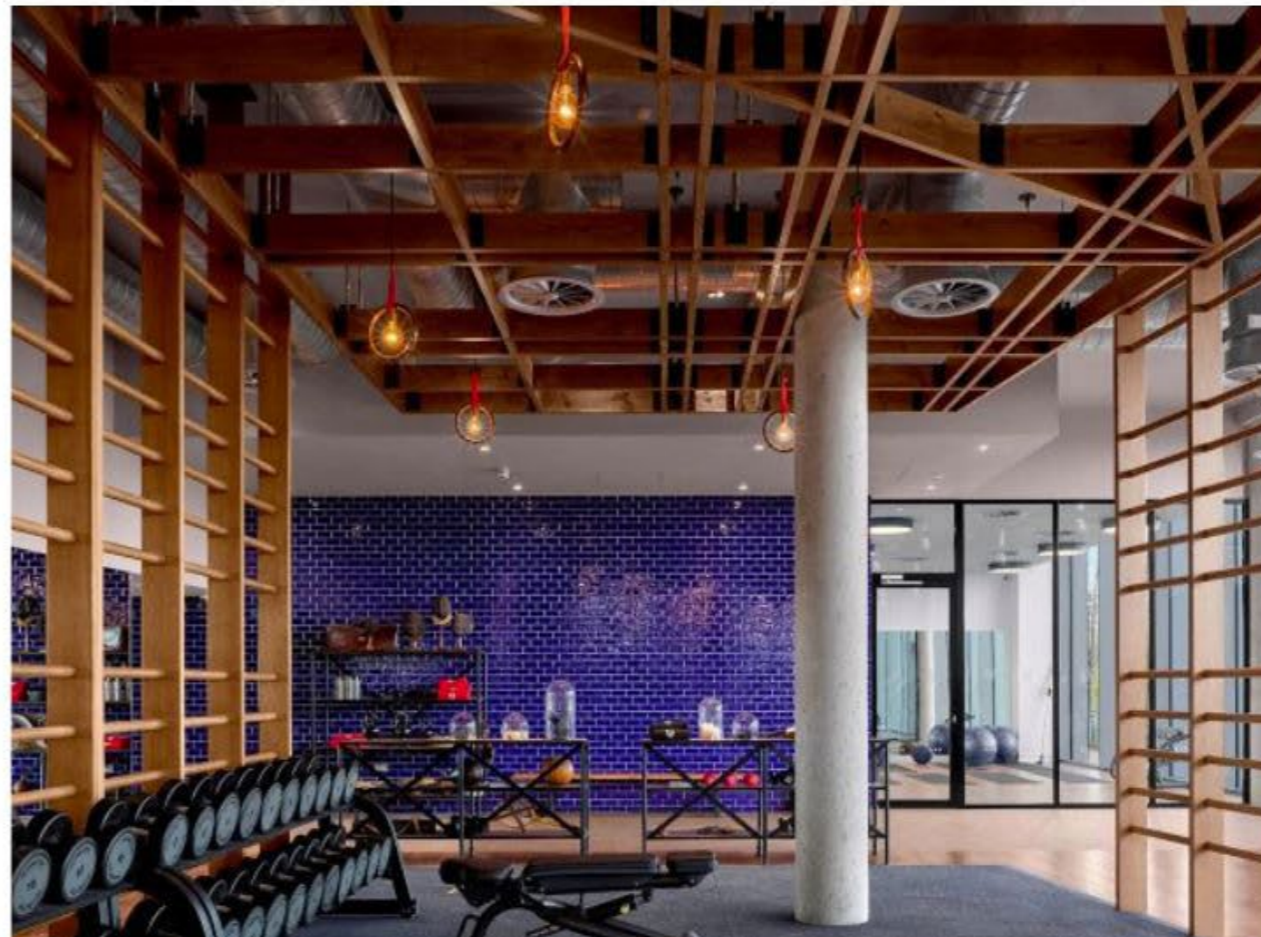
London City Island is a new island neighbourhood located in the heart of East London with distinct public spaces and a matured soft landscape edge to the river.

Over the last 200 years the site and the surrounding wharfs have been a focus for making and industry, this has created a distinct language of simple building forms with regularly punctuated facades. It is this industrial aesthetic that has influenced the clear language of the buildings at London City Island.

The introduction of creative and cultural industries now defines the Island, with English National Ballet and London Film School sitting at the heart of the project. Island life is further enhanced by a range of amenities, including The Grocer, the Arts Club and a gym. Two art galleries provide further cultural links, and co-working studios provide affordable opportunities for makers and small businesses.







# 2.0 Vision Statement

Ballymore proposes a mixed-use community at Harbour Point on the former Bray Golf Club lands located on the north bank of the River Dargle.

When fully built out, Harbour Point has the potential to deliver over 1,000 homes together with associated retail, recreational and social facilities that will form an urban extension of the historic core of Bray.

The scheme will be an exemplar of modern urban design with priority given to pedestrian and active transport modes, to biodiversity and natural drainage solutions, to energy efficiency and environmental resilience.

The development will reinforce the unique character of Bray as a seaside town, reinforce the viability of the commercial and social core of the Town and diversify its recreational, economic and residential offering.

The development will be delivered in two phases; the Coastal Quarter, which is the subject of this planning application, is primarily a residential based development. The River Quarter, situated along the River Dargle, will comprise a more diverse range of uses and be more urban in character.

# 2.1 Key Principles

**1. A distinctive place:** The scheme is designed as a new urban quarter, with its own unique character and sense of place but merging seamlessly and respectfully with the existing built form of Bray town with a comparable scale and urban grain

**2. A connected place:** the scheme maximises pedestrian linkages to the surrounding urban environment including the existing schools campus at Ravenswell, the suburban parkland to the north at Woodbrook Glen, to Bray Harbour, Bray station and Main St to the south and along the Dargle River to the west.

**3. A permeable place:** external linkages will be complemented by a high degree of internal permeability, with the focus on pedestrian movement through a sequence of streets, squares and public spaces so that all services are within walkable distances.

**4. An adaptable place:** the scheme can evolve and grow over time as demand for different land uses evolve and new uses emerge.

**5. A sustainable place:** the scheme adopts state of the art energy saving design with landscaping and public open spaces designed to maximise biodiversity.

**6. A resilient place:** the scheme is future proofed to meet the challenges of climate change including increased flood risk.



# 3.0 Context



Harbour  
Point

# 3.1 County Development and Local Area Plans

Dun Laoghaire-Rathdown County Development Plan 2022 - 2028



## Land Use Zonings

Objective A	To provide residential development and improve residential amenity while protecting the existing residential amenities.	
Objective A1	To provide for new residential communities and Sustainable Neighbourhood Infrastructure in accordance with approved local area plans.	
Objective A2	To provide for the creation of sustainable residential neighbourhoods and preserve and protect residential amenity.	
Objective B	To protect and improve rural amenity and to provide for the development of agriculture.	
Objective G	To protect and improve high amenity areas.	
Objective MTC	To protect, provide for and/or improve major town centre facilities.	
Objective NC	To protect, provide for and/or improve mixed-use neighbourhood centre facilities.	
Objective OE	To provide for office and enterprise development.	
Proposed Luas Line Extension		
Proposed Sutton to Sandycove Walkway/Cycleway as a component part of the National East Coast Trail Cycle Route		
Record of Monuments and Places (For Areas of Archaeological Potential)		
County Boundary		

Bray Municipal District Local Area Plan 2018-2024



	Municipal District Boundary		TC Town Centre
	Settlement Boundary		NC Neighbourhood Centre
	RE Existing Residential		LSS Local Shops & Services
	R-HD New Residential		MU Mixed Use
	R20 New Residential		E1 Employment
	R15 New Residential		E3 Retail Warehousing

# 3.2 Site Context





1. Bray Main Street



2. DART Station



3. The Promenade



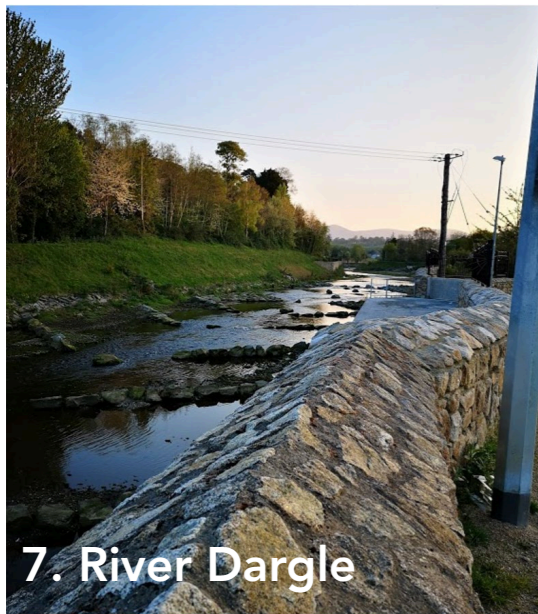
4. Bray Harbour



5. Former Bray Golf Club



6. Flood Defense Scheme



7. River Dargle



8. Peoples Park



9. Woodbrook Golf Course

## 3.3 Historical Evolution of Bray



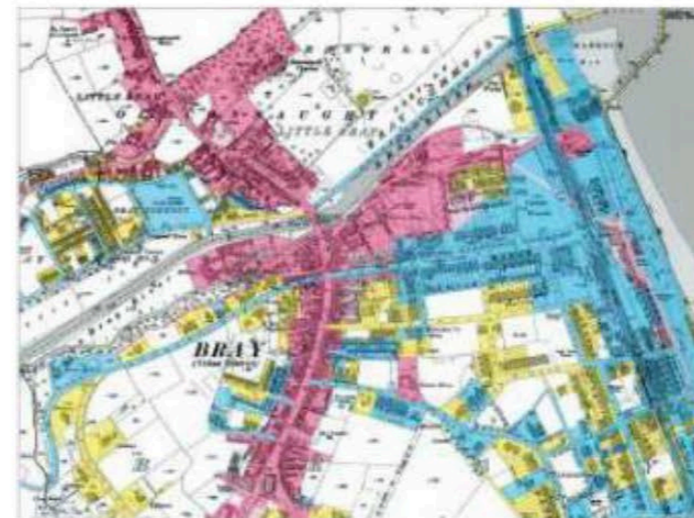




1837



1852



1920



1997



Market Town



Railway



Seaside Resort



Bray Today

# Market Town

Bray was first settled in Norman times with the establishment of a castle south of the Dargle in the 12th Century. The town evolved slowly as a minor market town and fishing village focused around the medieval settlement on the south bank of the Dargle and the Dublin Road bridge.



# Post 1850's - Seaside Resort

The construction of the railway from Dublin to Bray led to extensive development in Bray, which was until then an unimportant market town and small bathing resort. The coming of the railway sparked off a massive building boom which turned the town into a major seaside resort and commuter town for Dublin.

In the late 18th to early 19th Centuries, Bray had blossomed into a successful resort, catering for those seeking fresh air away from Dublin, and forming a base for visitors to seek the beauty spots of the Wicklow mountains. This existing resort role was a factor in the deliberate choice of the town for development when the railway was built in the 1850's.



# 3.4 Existing Morphology and Urban Grain





Bray Seafront



Quinsborough Road Area



Sidmonton and Meath Road Area

# Quinsborough Road

Architecturally important terraces and houses were built along new roads using the most competent architects of the time. The entrepreneurs responsible for building the railway and for financing the building boom in Bray included the notable railway engineer William Dargan (1799–1867) and local businessmen John Quin Junior, Edward Breslin and John Brennan. Quin supplied the land allowing the Dublin and Wicklow Railway Co. to lay out Quinsborough Road and Dargan laid out the seafront and provided structures on Quinsborough Road.

As was fashionable at the time three very grand rows of houses were erected along Quinsborough Road, which rivalled the town houses of Dublin: Dargan (now Duncairn) Terrace built c. 1859, Prince of Wales Terrace built c. 1860 and Goldsmith Terrace built c. 1863.



Prince of Wales Terrace

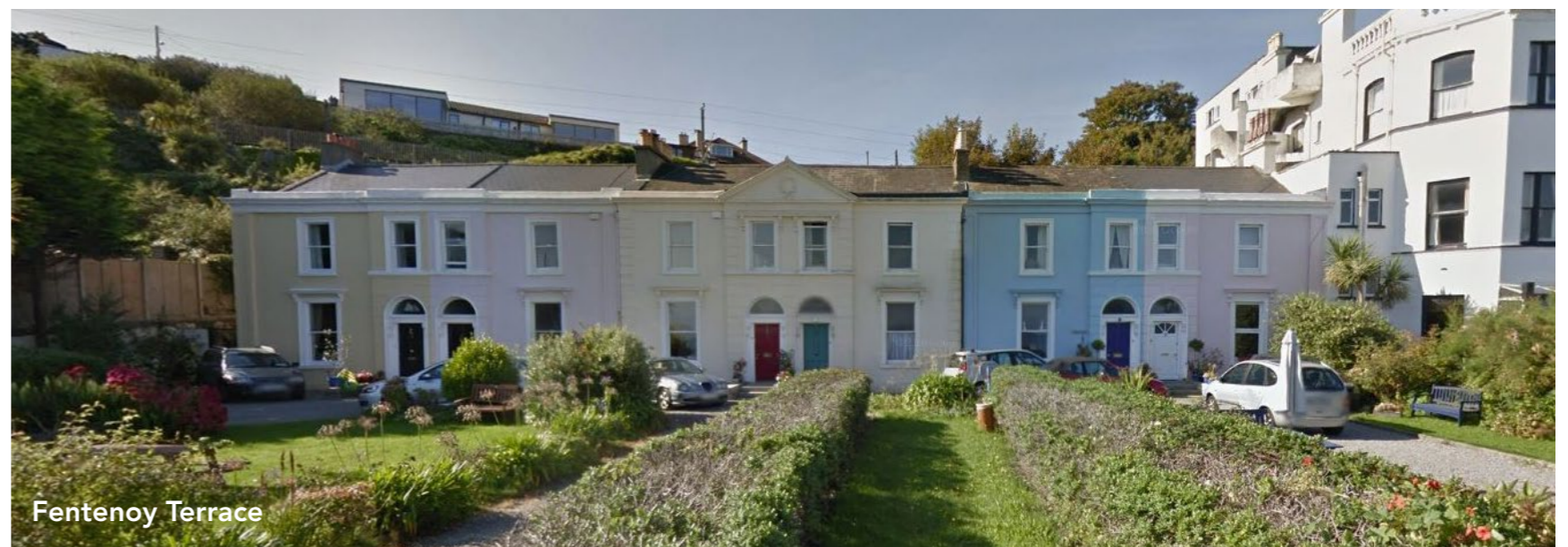


Duncairn Terrace

# Bray Seafront

Although the general decline of the traditional seaside resort after 1970 has changed Bray's role yet again, the lengthy Esplanade, the long straight roads and the grand late-nineteenth century terraces and houses survive as a reminder of the town's special history.

Martello Terrace is one of Bray's earliest, best preserved, and most distinctive seafront terraces. Most of the buildings in the Seafront area were built in the Victorian era with features such as rendered walls, bay windows, cast-iron railings, and timber sashed windows.



# Sidmonton Road

The town grew steadily in the fifteen years following the arrival of the railway indicated by the development of the Quinsborough Road, its terraces, the two hotels the Royal Marine and the International, the Methodist Church 1859, the Presbyterian Church in 1860, Christchurch in 1863 and the Turkish Baths in 1859. The Florence Road followed and by 1860 other residential areas such as Sidmonton Square and Novara Avenue were being developed.

As was fashionable at the time many terraces, mainly redbrick, were erected along the Galtrim, Novara, Sidmonton and Meath Roads similar to other terraces which were built in other parts of the country. The characteristics of quite a number of the houses in the roads, avenues, terraces and squares in this have similar Victorian and Edwardian architectural features such as front gardens with cast-iron railings and stone plinths, slate hipped roofs, timber sashed windows and brick detailing.



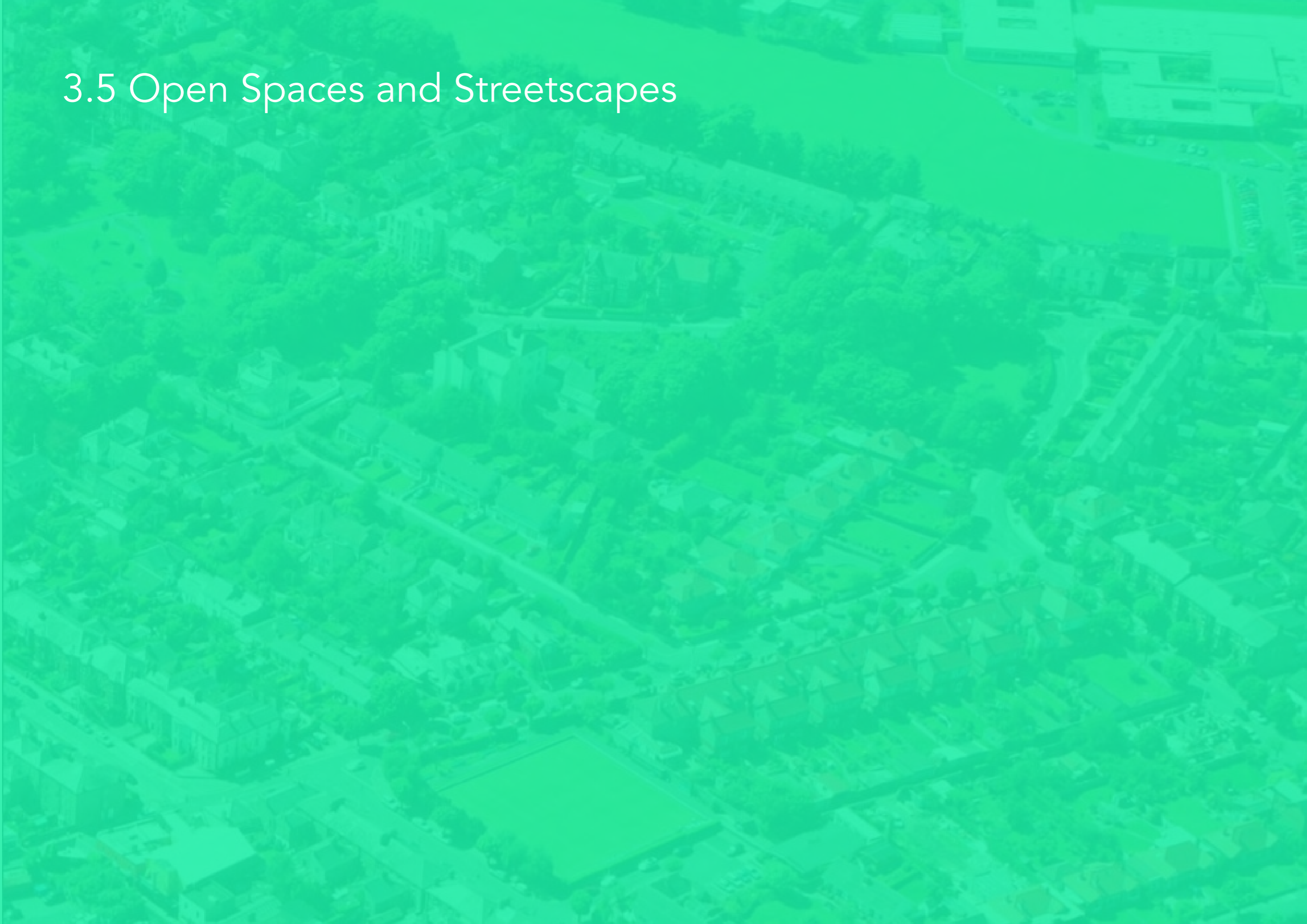


# Ireland - Modernism

Nautical style also reached the shores in many coastal countries such as Ireland where most renowned Modernist architect, Michael Scott, built himself the Geragh family house in 1938, a magnificent house in Sandycove outside Dublin. Curving corners, white walls, porthole windows, flat roofs and terraces lent it the characteristics of the modernist style. Other examples of modernism include the Dublin Airport and Salthill promenade in Galway.



## 3.5 Open Spaces and Streetscapes





1. Sidmonton Park

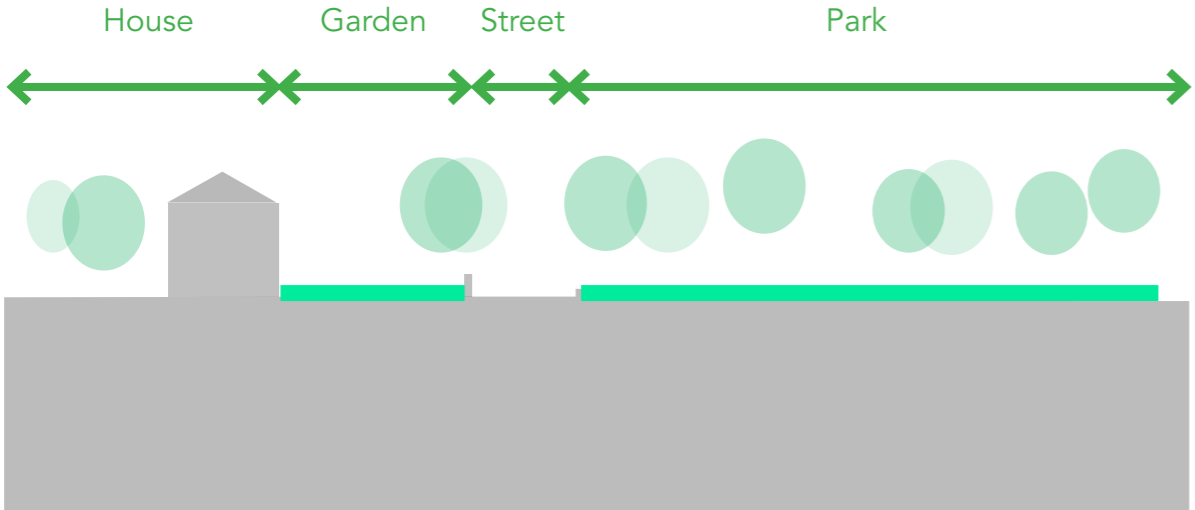
2. Quinsborough Road

3. Bray Promenade

4. Coastal Setting

# Sidmonton Park

Sidmonton Square Park is an important amenity defined by continuous fencing with tree planting concentrated with the tree boundaries and includes a selection of playground furniture and well placed seating. This park is a significant asset adding to the character of the area defined also by houses with long facing front gardens. As part of the new masterplan, we wish to take reference from this streetscape and houses to retain the existing fabric of Bray.

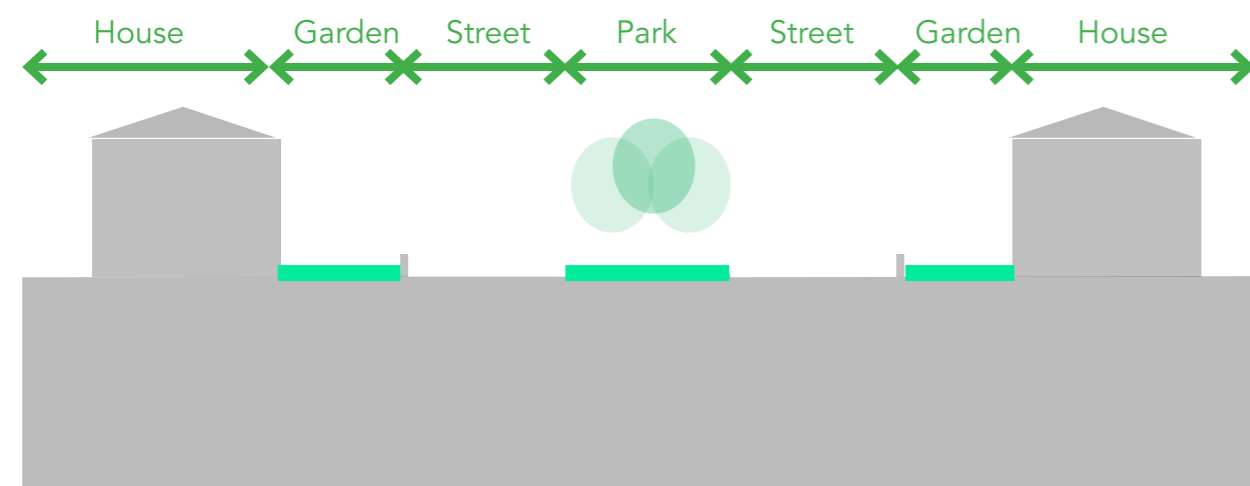


# Quinsborough Road

The Quinsborough Road was conceived and built in Victorian times to serve the seafront, the railway station and the Main Street. This road, together with the adjacent Eglinton and Florence Roads, was built to service a thriving seaside and railway town, which was imaginatively and competently planned.

The street width, the trees and design are intrinsic to the amenity and character of Quinsborough Road. Mature trees are planted in a line in front of Duncairn Terrace providing diversity, and there is a line of wellplanted trees on the footpaths alongside Prince of Wales Terrace and both sides of the Main Street end of the Quinsborough Road.

The uniform proportions of groupings of houses and their front gardens create pleasing views from the roadways with which we want to take reference from in the new masterplan.

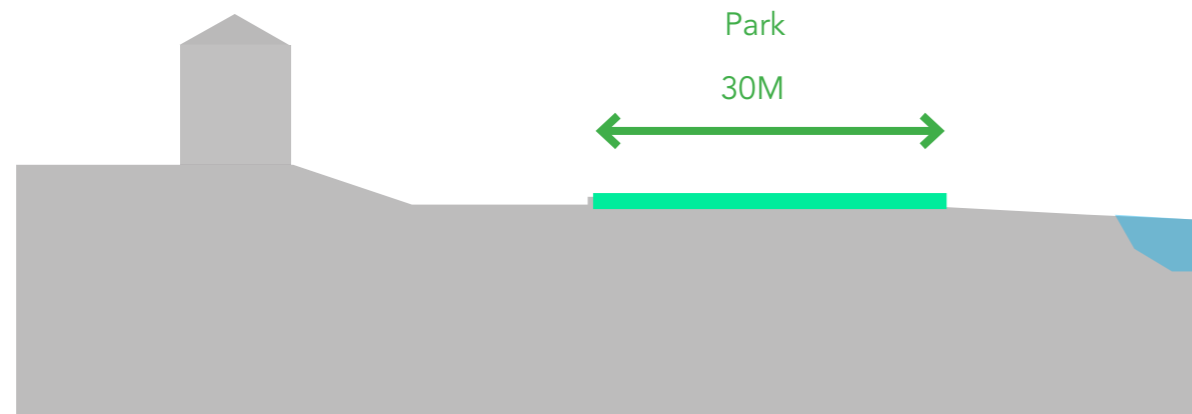


# Seafront Promenade

The landscaping of the seafront is unique and attention is constantly given to the upgrading and re-creation of the promenade area, while paying attention to the setting of the houses along the Strand Road.

Apart from the houses, the design of the 'Bray Promenade Railings', the sensitively restored 'Victorian Seat Backs', the recently added street furniture and granite pathways, the Martello Tower at the Harbour-end and the dominating presence of Bray Head creates a theatre of interest which consistently engages the imagination of the public, poets, writers, artists, musicians, filmmakers and photographers.

The seafront is also used daily by walkers, dog-walkers, runners, athletes, cyclists, swimmers, and fishermen.



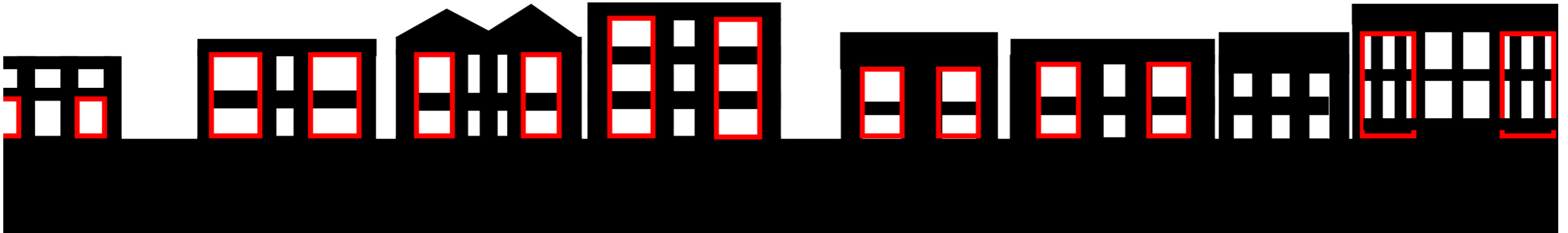
# Coastal Setting

Bray is surrounded by plentiful green spaces, parks, cliff walks, and of course the Wicklow Mountains. The site sits in a strategic location to the north of the River Dargle with existing trees and links to a number of walking and cyclist routes to the coast and local hills. Acknowledging these green routes and the character of the coastal setting should develop a proposed masterplan that blends the new with the existing.



# The Streetscapes of Bray

## Meath Road



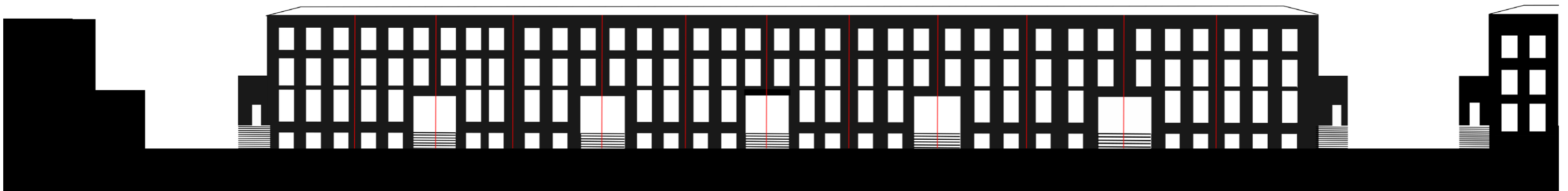
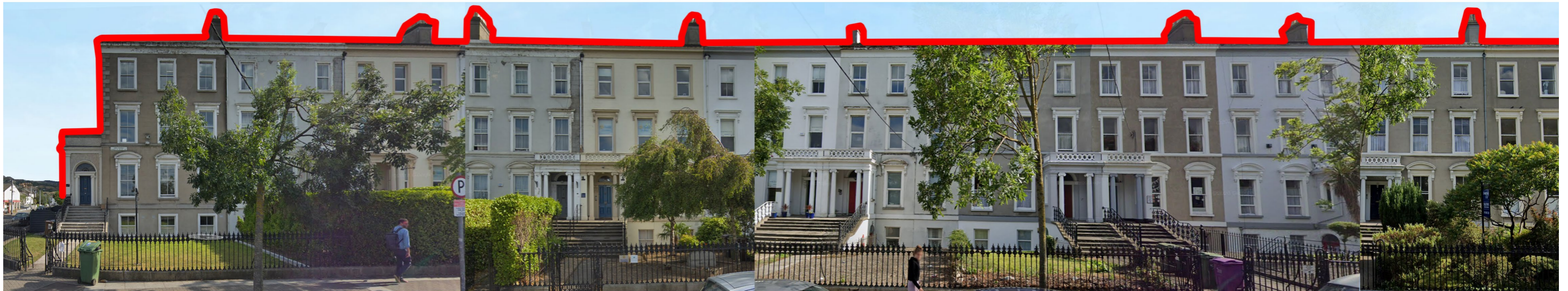
### Street Characteristics:

- Single bay windows / Double Height Bay Windows
- Long front gardens
- Varying Roofline



# The Streetscapes of Bray

## Quinsborough Road

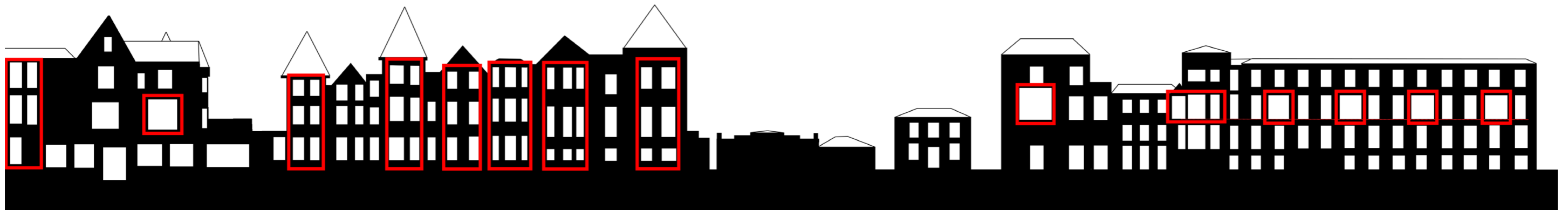


### Street Characteristics:

- Long terrace elevations
- Combined staircase to recessed doorways
- End single storey projecting bay
- Low dwarf wall with metal railings

# The Streetscapes of Bray

## Promenade

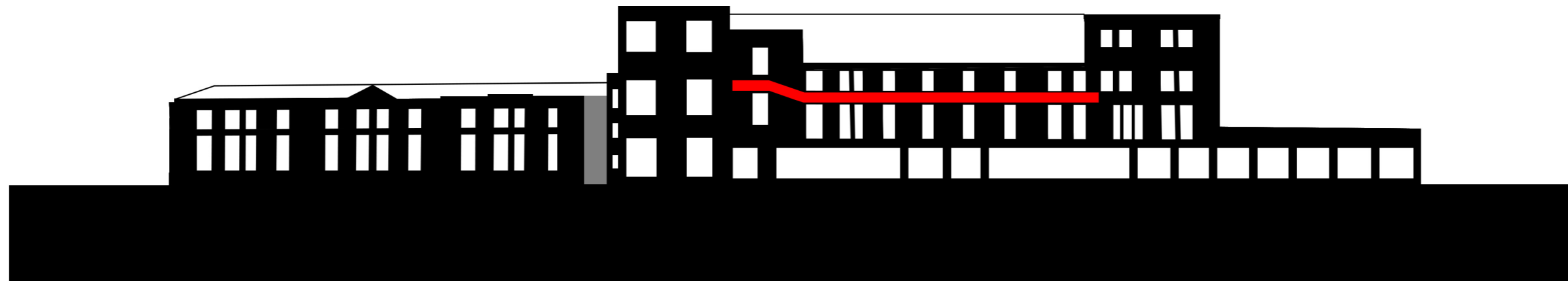


### Street Characteristics:

- Larger properties of varying styles facing the seafront
- Projecting bay windows breaks up repetitive single window facade
- Varying Roofline

# The Streetscapes of Bray

## Promenade



### Street Characteristics:

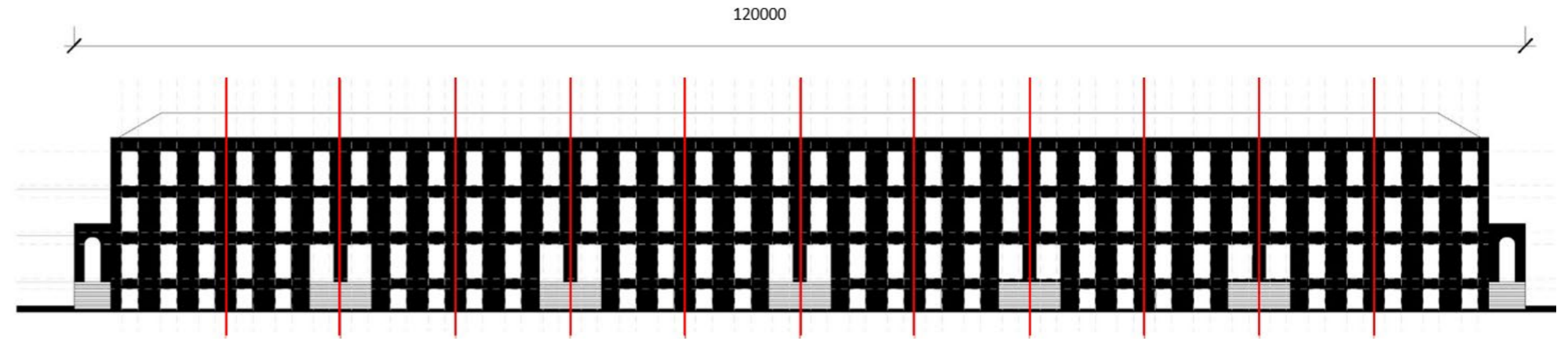
- Larger properties of varying styles facing the seafront
- Bray hotel adding a horizontal emphasis to the architecture
- Varying Roofline

## 3.6 Bray Typologies

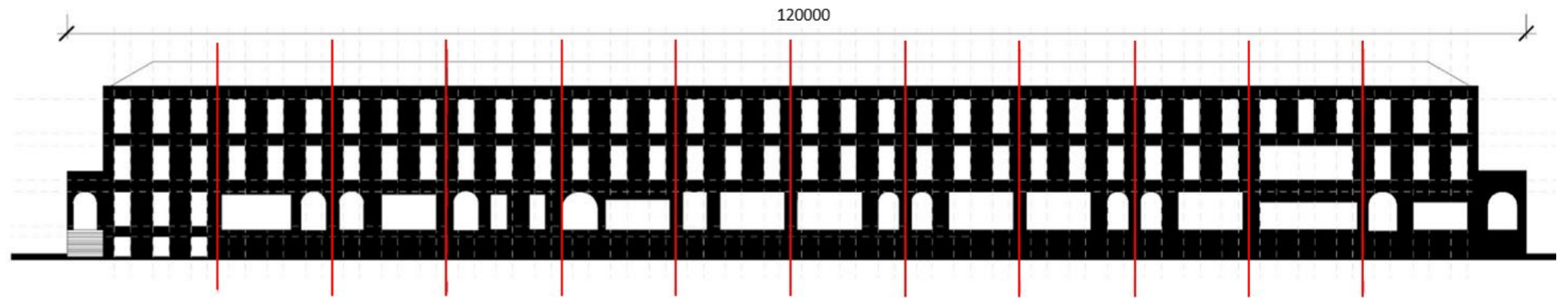


# Quinsborough Road

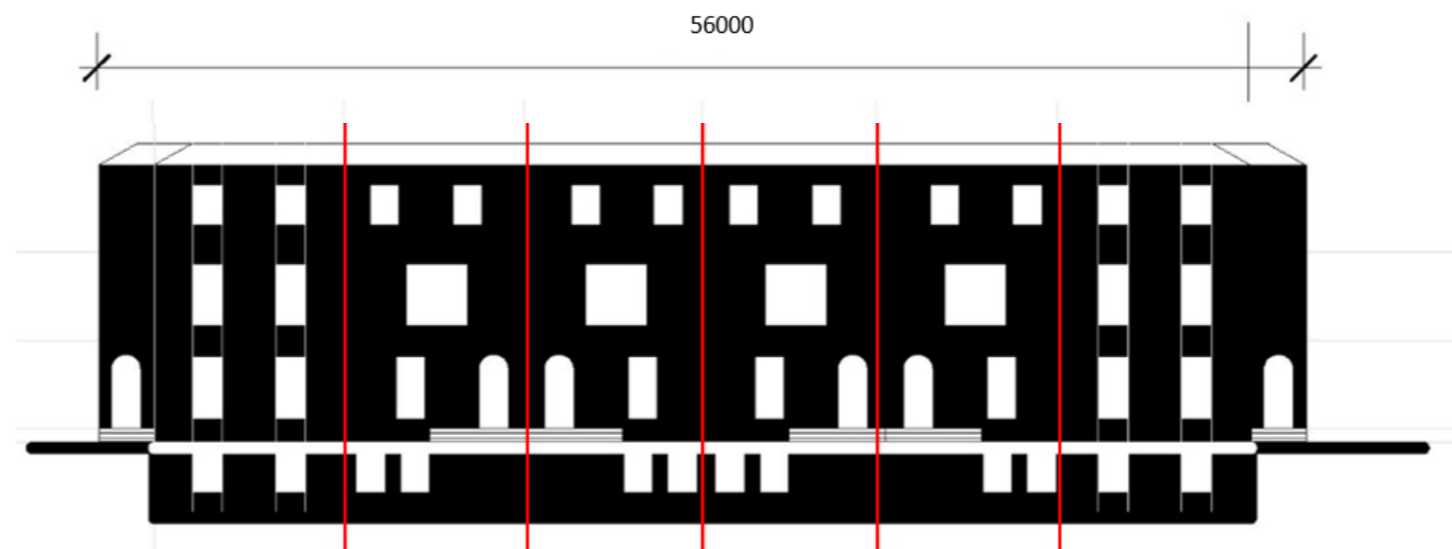
The terraces situated on Quinsborough Road themselves tend to be well proportioned but simple blocks up to 120m long and 14m high, sometimes adorned with projecting bay windows, decorative railings often at first floor level defining the piano nobile. A key feature of the Bray Terrace is the use of a single storey projecting bay at the end of the terrace.



Prince of Wales Terrace

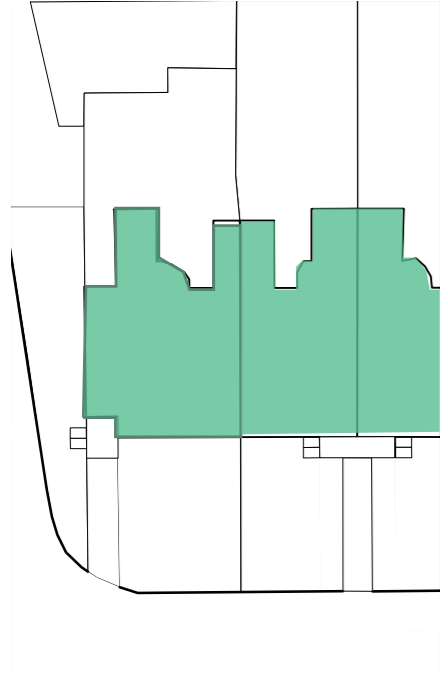


Goldsmith Terrace

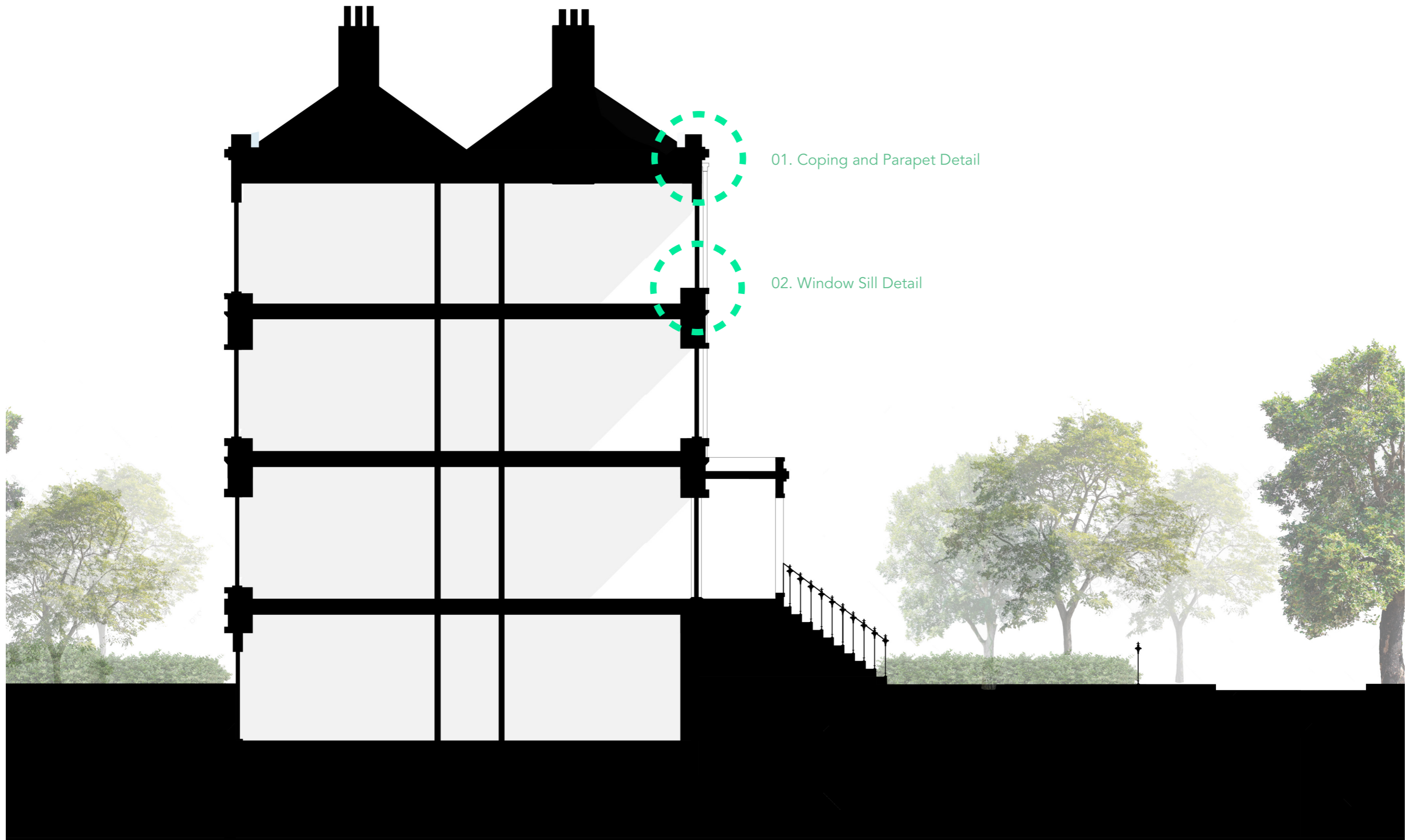


Duncairn Terrace

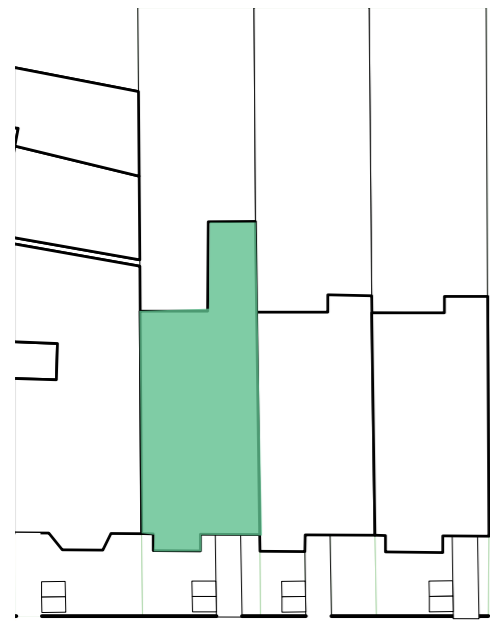
# The Terrace



# Key Details



# The House

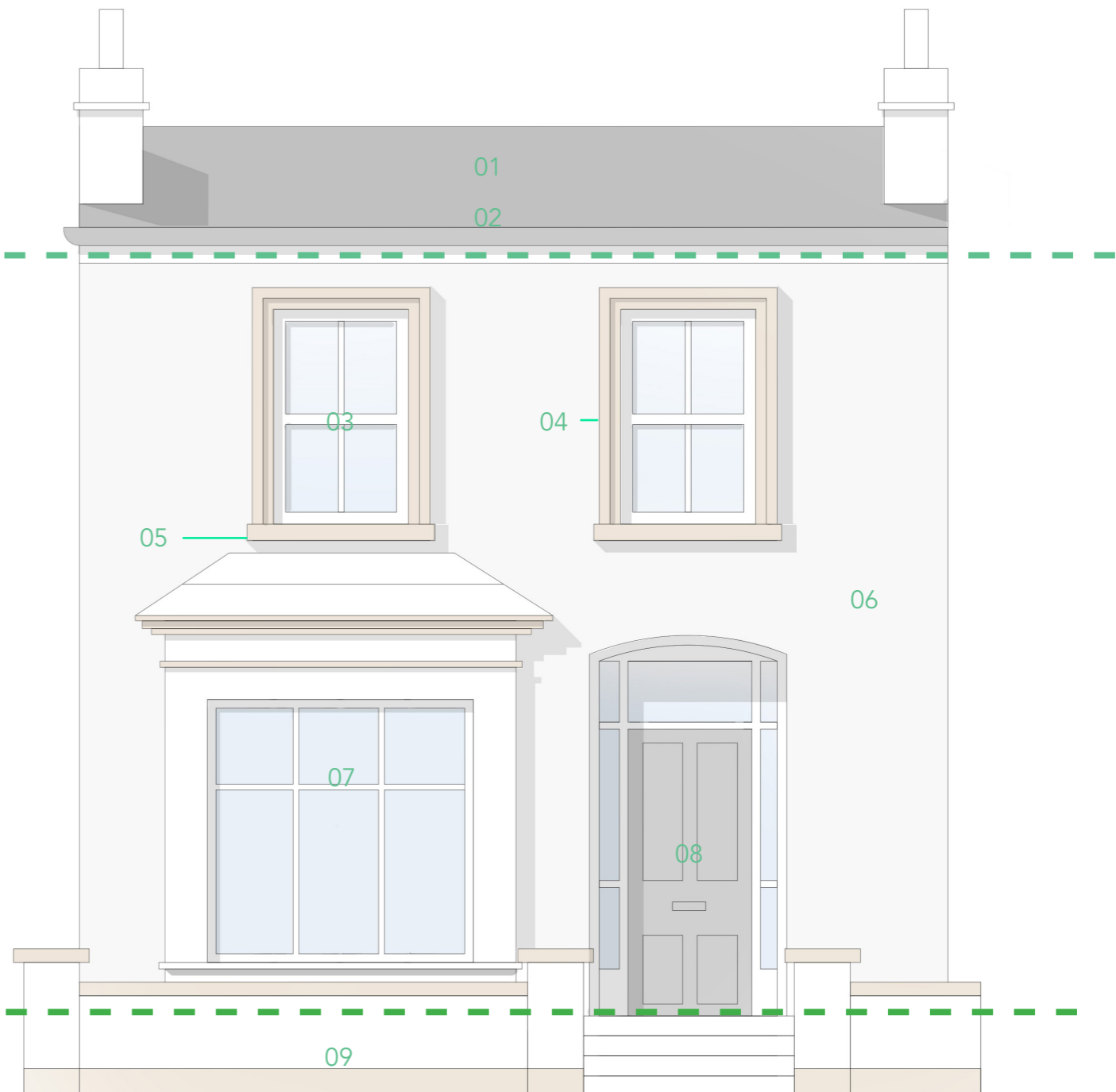


- 01. Pitched Roof
- 02. Gutter Detail
- 03. Slimline Sash Windows
- 04. Decorative Window Surrounds
- 05. Granite Window Sill
- 06. Painted Rendered Facade
- 07. Single Bay Window
- 08. Recessed Doorway
- 09. Boundary walls of brick or granite

Top

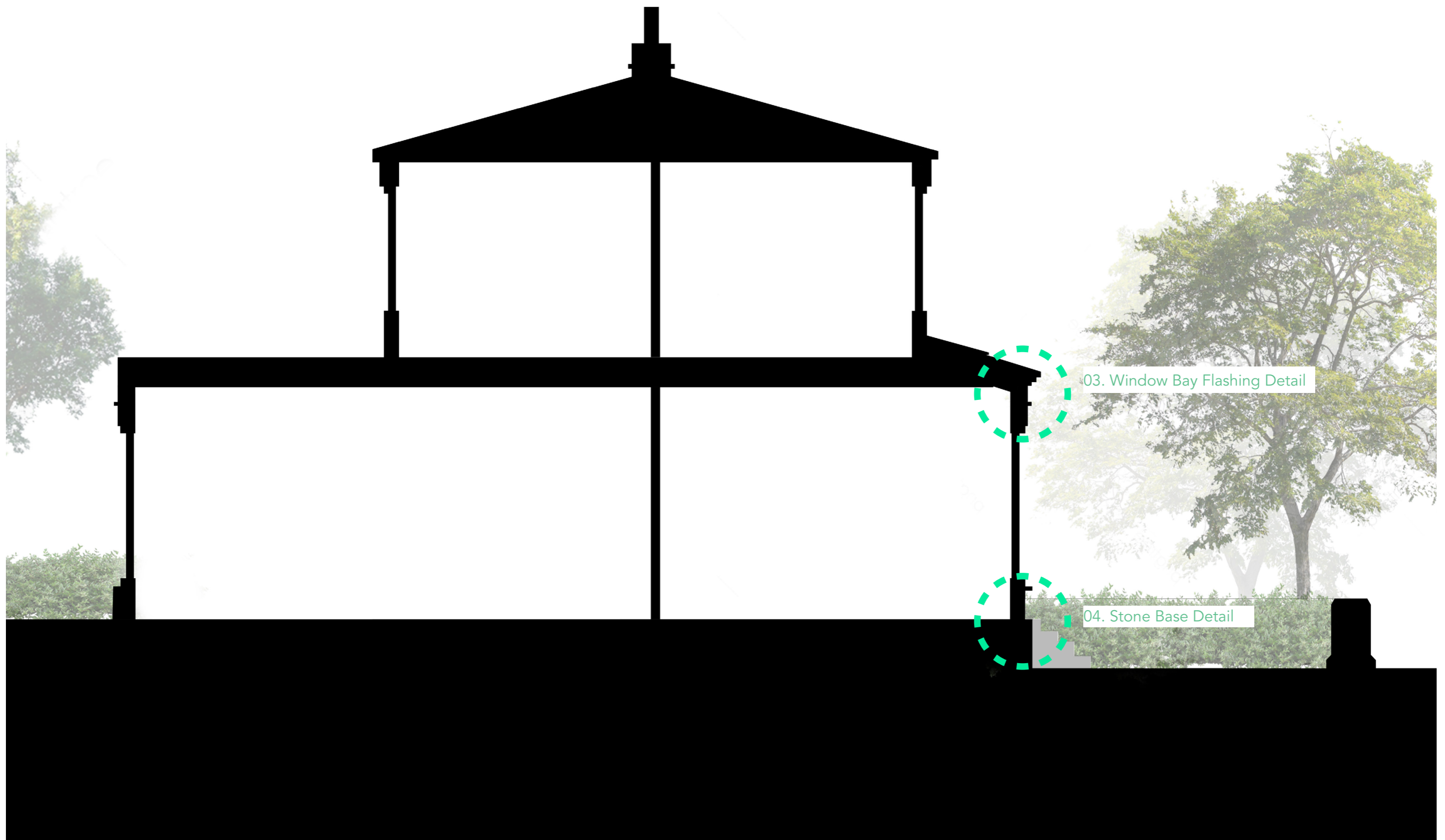
Middle

Base





# Key Details



## 3.7 Materials



# Materials

Historically, Victorian Bray builders employed a limited palette of materials. Most houses were rendered, with limited decorative moulding around doors, windows, and at eaves level.

Occasionally red brick was used, typically at first and second floor level over ground floor render. Stone was rarely used, typically as plinths or as garden walls. A particular feature of Bray, perhaps reflecting its role as a seaside resort town, was the prominent use of wrought iron balconies, complementing the ironwork garden railings.



Render



Brick



Pebbledash



# Materials

This material study into the architectural elements that underpin Bray's traditional character begin to establish a common language among the individual terraces and houses. This results in a list of material considerations that shall be taken forward as a robust language for the new development ensuring the proposed dwellings and blocks reflect the traditional characteristics in a modern and contemporary architecture.

**Principle Facade Material :** Render + Brick

**Window Sills :** Stone or Granite

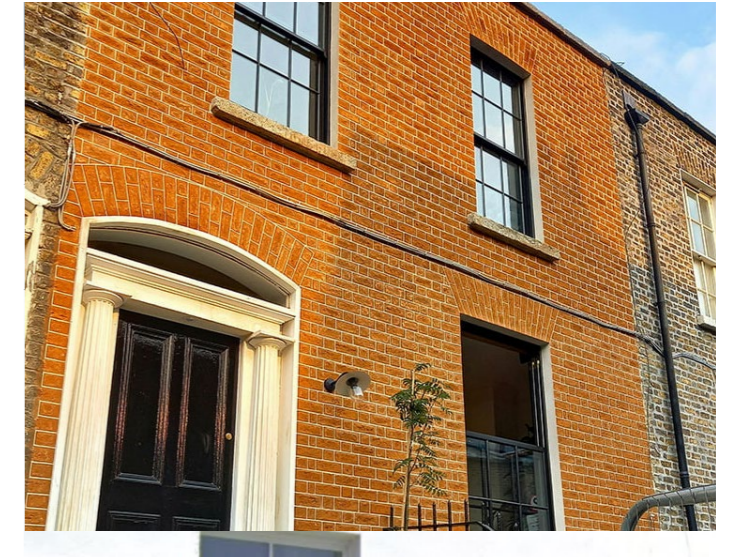
**Roof :** Pitched

**Balconies :** Wrought Iron (White / Black)

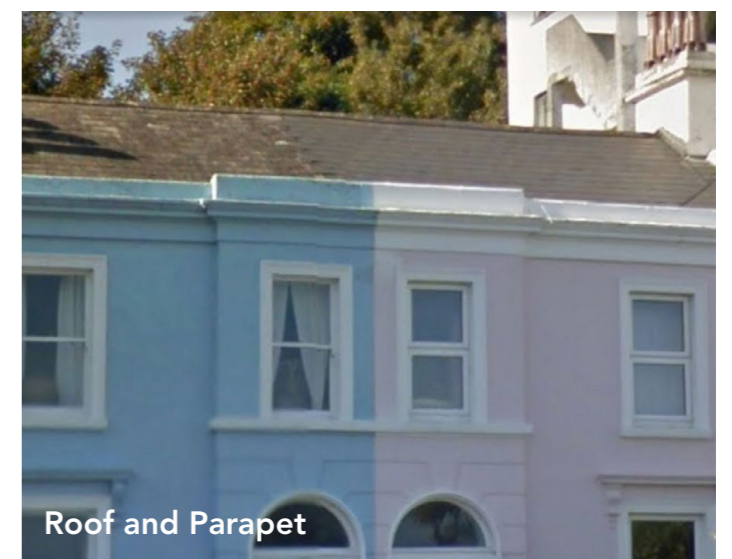
**Boundary treatment:** Low Lying Wall made of Stone with metal railings

**Scale / Form :** Two / Three Storey Houses with Corner treated with a single storey projecting bay. Larger buildings built facing the seafront

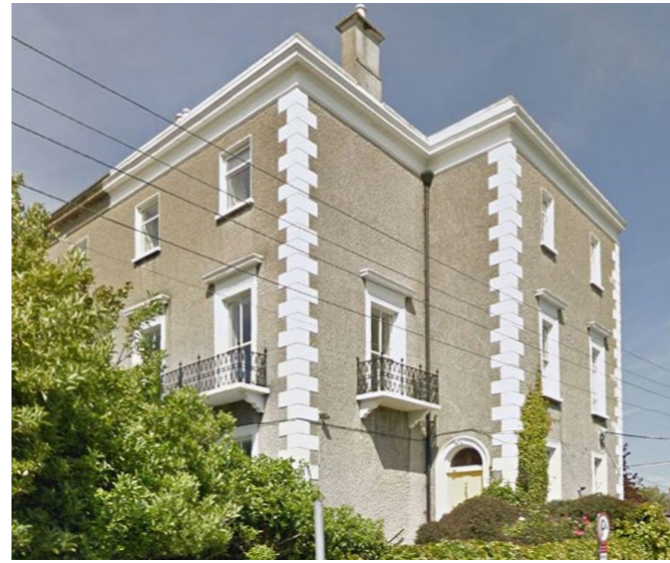
**Doorways :** Recessed made of painted timber



Window and Sills



Roof and Parapet



Balconies



Dwarf Wall and Railings



Projecting Bay



Doors

## 3.8 Summary



# Summary

To ensure that the vernacular and character of Bray is safeguarded, it is imperative that a robust modern interpretation is carefully translated to prevent the scheme becoming placeless or pastiche. We therefore believe that the following considerations drawn from our study of Bray's urban grain, materiality, and building typologies will form a robust design code to develop the masterplan and individual building designs:

**Scale and Form:** It has been noted that the scale and form of buildings within Bray reflects the town's seaside history where a number of larger and grander type properties were built on the promenade and smaller villa type properties built within the greener residential neighbourhoods. Apartment blocks should be positioned appropriately onto the coast and smaller scale buildings set back within the development facing to open spaces and parks.

**Materials :** It has been noted that Bray is predominantly a 'render' town characterised by its seaside location. The town also has a portion of red brick and pebble dash buildings located further into the town. To ensure the masterplan fits within its surroundings, render and brick should be the principle material used across the site.

**Elevations :** The rendered terrace and house facades investigated have been noted as a typical characteristic for seaside locations. Bricks could be incorporated to provide a robust material solution, to stand aside rendered facades.. The complex elevational composition on the Prince of Wales Terrace demonstrated early 19th Century features such as bay windows, balconies, and projecting end bays. These features should be adopted into the new scheme in a contemporary modern manner.

**Detailing :** Houses should be unified by the use of contemporary stone detailing to all rendered elevations including the window sills, parapets, and capping to street dwarf walls. All windows should have an extended stone sill detail to manage water run-off and metal considered for the more delicate details, such as balconies, window boxes, and street railings to seamlessly blend with the existing fabric.

**Windows :** Terraces built in the early nineteenth century had georgian proportioned windows repeated across the elevation. Window frames were of a contemporary slim-line profile and of a light colour in keeping with the local vernacular. Varying the window apertures should be acceptable on sea facing apartment blocks to take advantage of sea views out to Bray Head and Dalkey.

**Roofing :** The majority of roofs have been noted as pitched, slate, and partially hidden behind a deeper parapet. Chimneys stand tall above the elevations below and are repetitive elements that reflect the repetition and rhythm of elements. The roof angle, gutter, and parapet detail should be considered to match the building typologies in Bray.

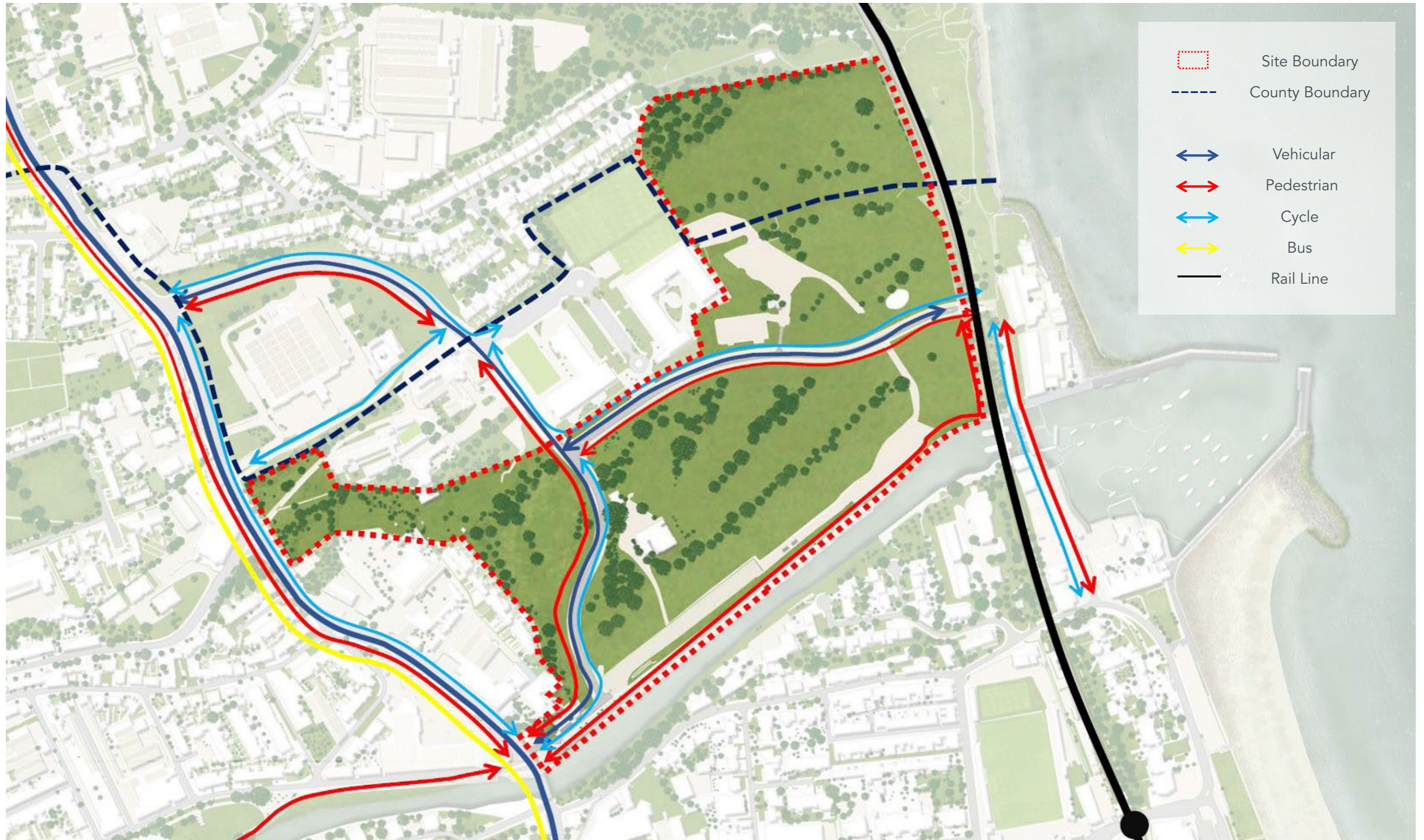
**Boundary Treatment :** A successful landscape plan should address the small and large front gardens to mark their boundary with the street. Low lying walls in stone with wrought iron railings has been noted as typical detail of Brays urban setting and should be translated into the new masterplan.

# 4.0 Site Analysis

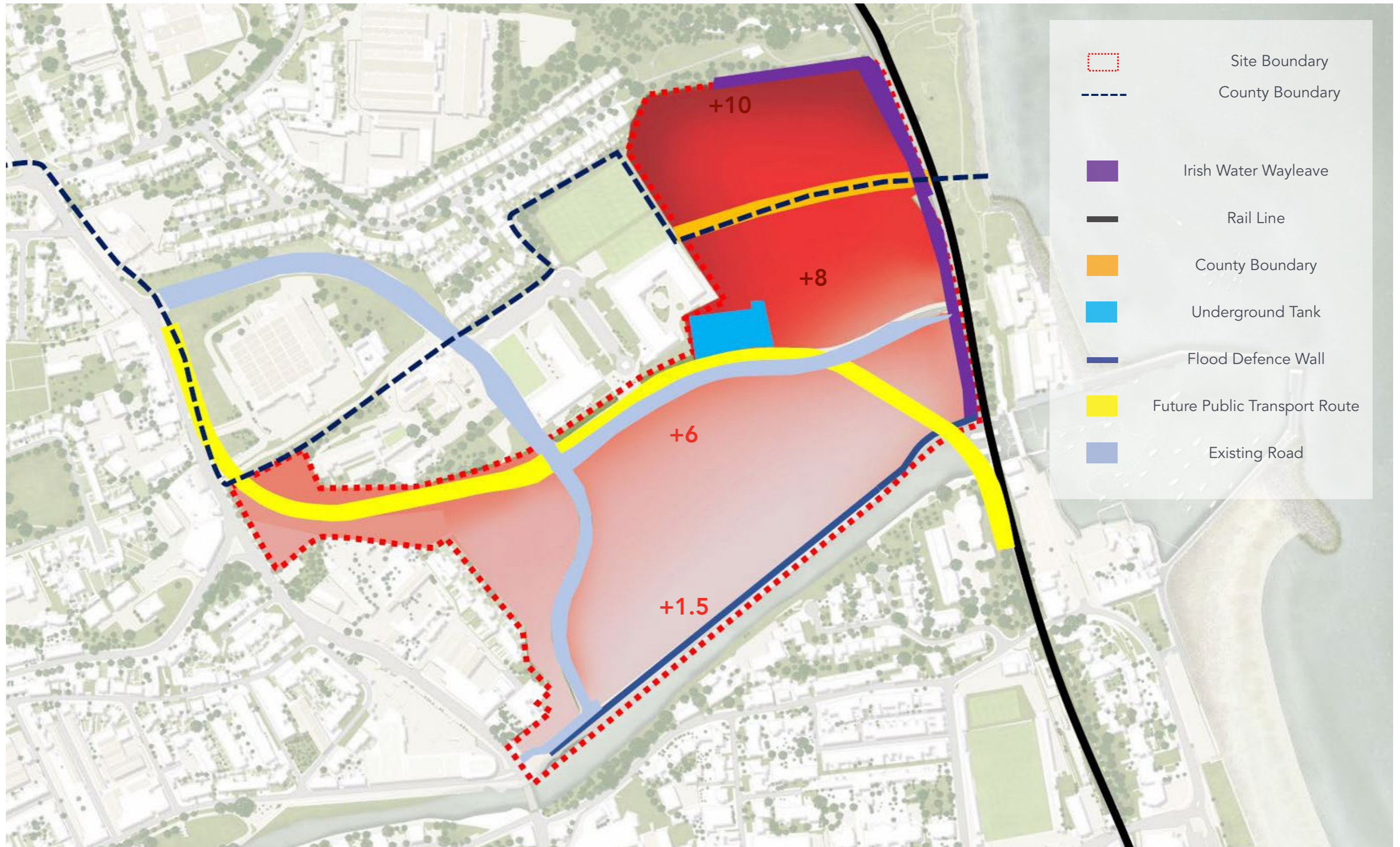




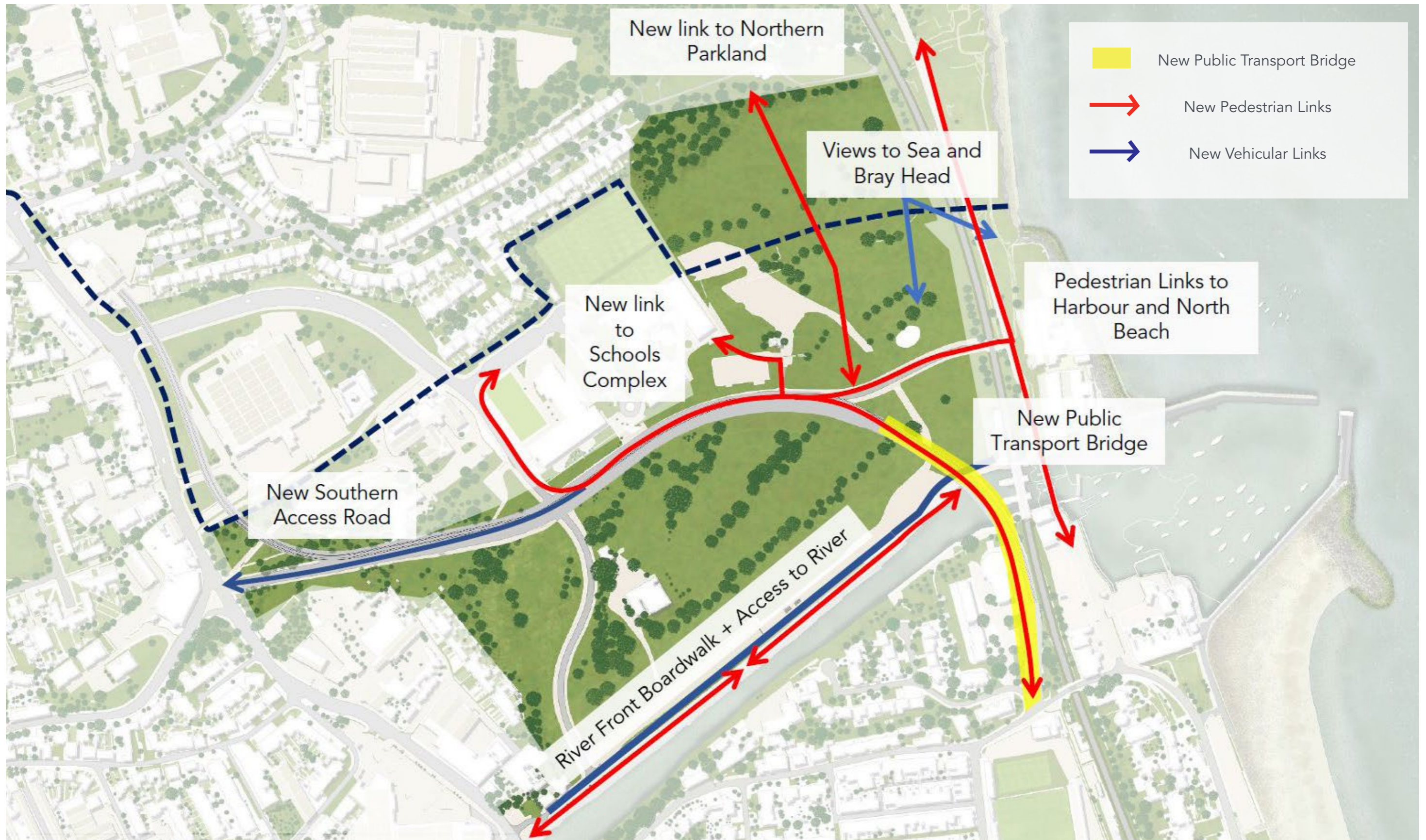
# 4.1 Existing Access



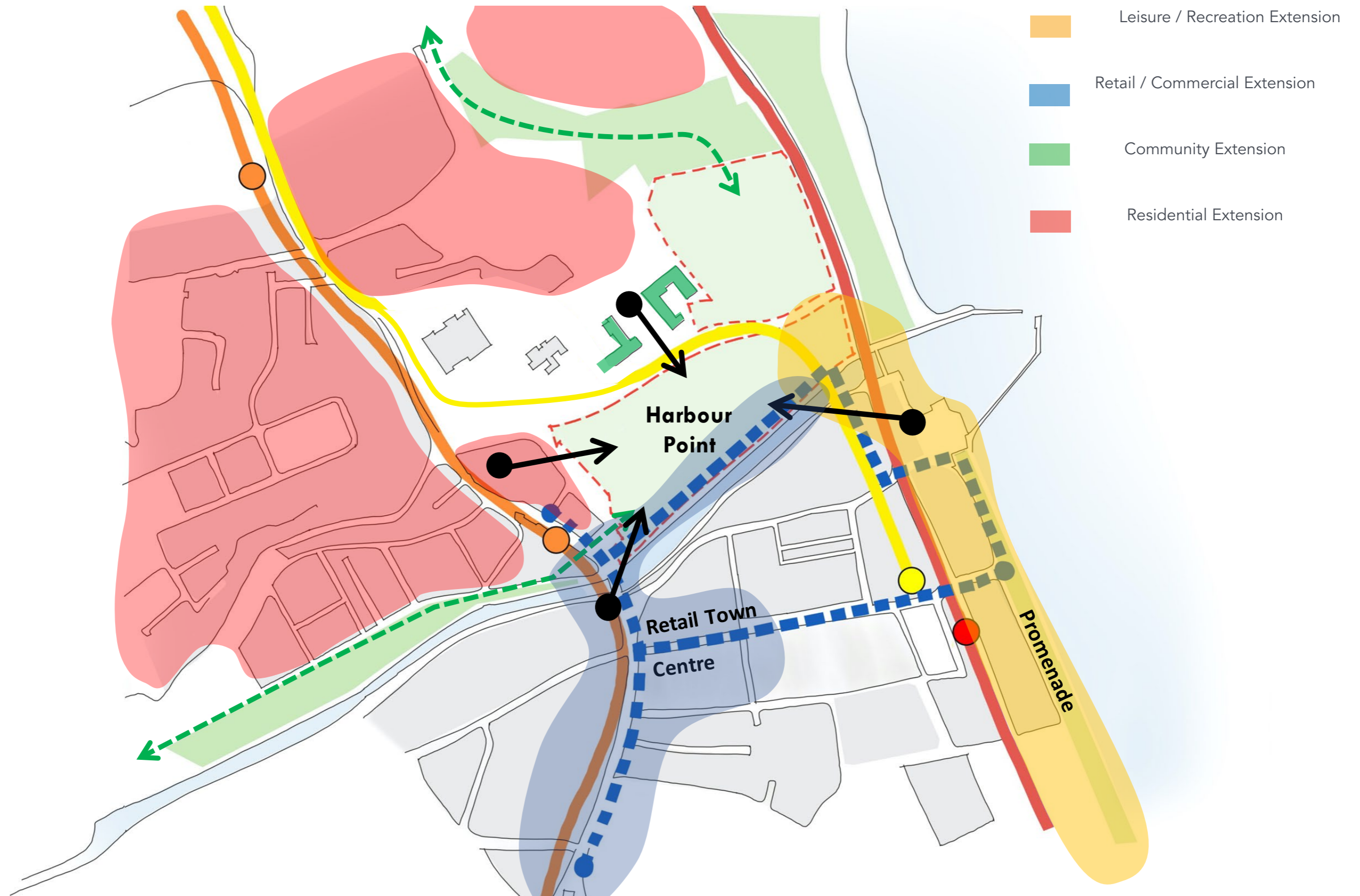
## 4.2 Constraints



## 4.3 Site Opportunities



# 4.4 Wider Site Opportunities



# 4.5 Masterplan Development

**Step 1.** The future public transport route provides a natural divide to create two distinctive residential areas, the southern area facing onto the Dargle River accessible from the Town Centre, and the northern area facing the coast and bounded by the school complex to the west, providing special panoramic views over the Dart Line of the Sea and Bray Head.



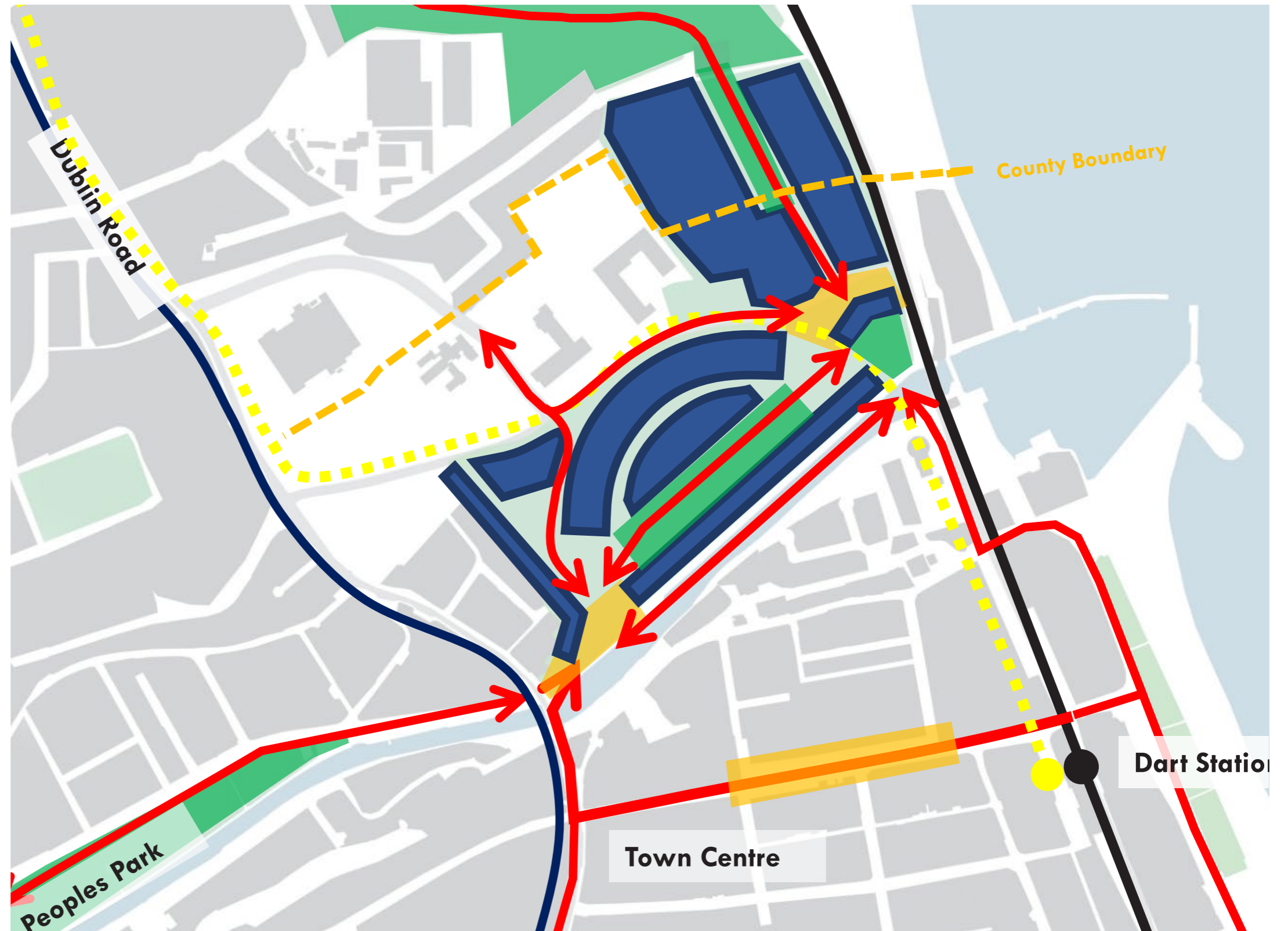
## 4.5 Masterplan Development

**Step 2.** At the early masterplanning stage, it was important to develop an open space strategy of soft and hard landscaped areas through a pedestrian loop connecting the scheme back to Bray with key nodal points linking to the Dublin Road and the future transport bridge. Just as important, was creating a central hub, a mix of leisure and community space connecting the two quarters together.



## 4.5 Masterplan Development

**Step 3.** Extending the green spine northwards through the Coastal Quarter opens up an opportunity to create a new woodland park for its residents, improving the existing green area, and bringing dog walkers through the scheme into Bray.



## 4.5 Masterplan Development

**Step 4.** Streets and Blocks are further refined to echo the urban grain of Quinsborough Road and Sidminton Area where houses and terraces with long facing gardens are defined by parks and trees. These new streets create further linkages to the local school complex, existing cycle routes, and green routes extending beyond the town.





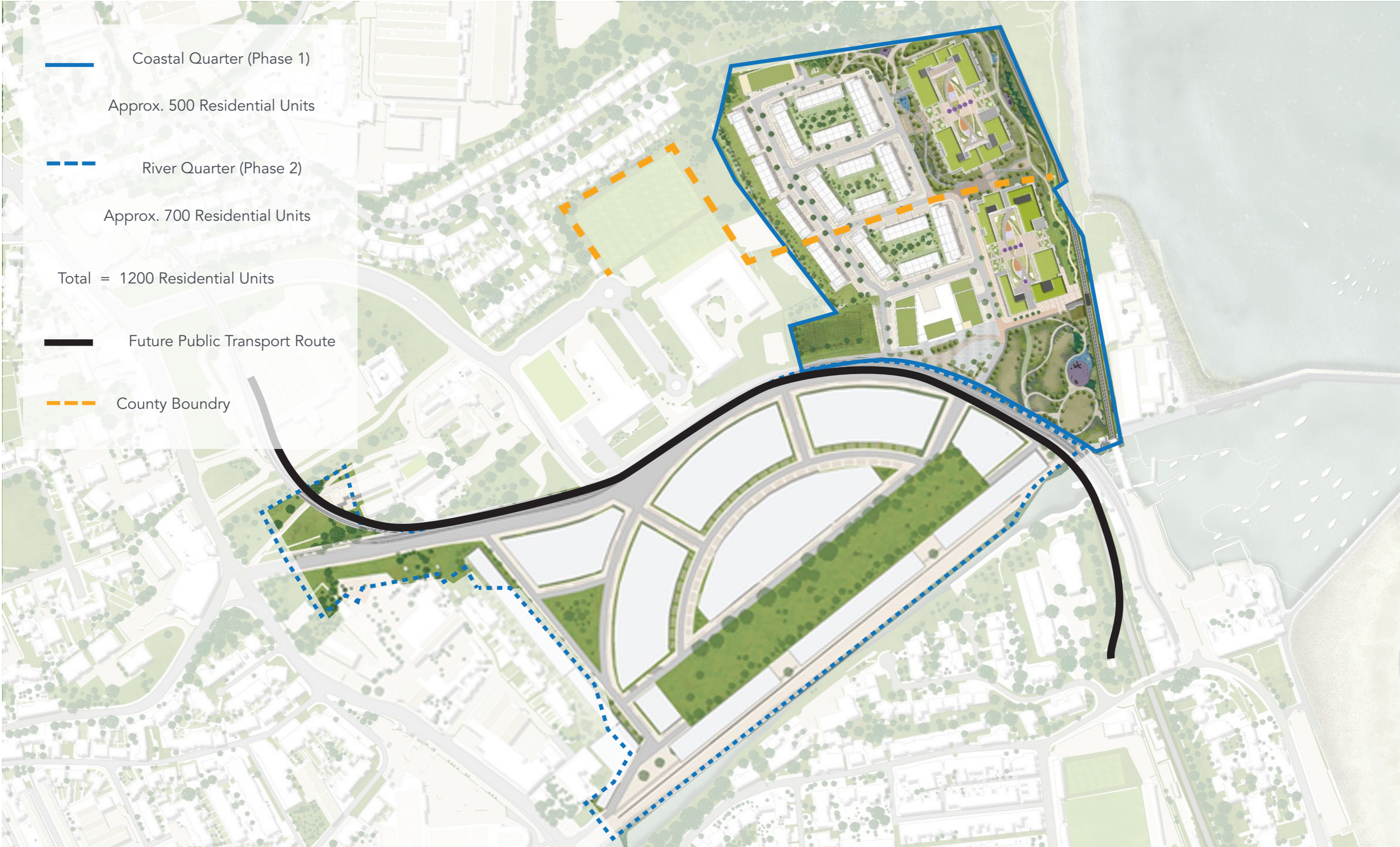
## 4.6 Future Urban Grain



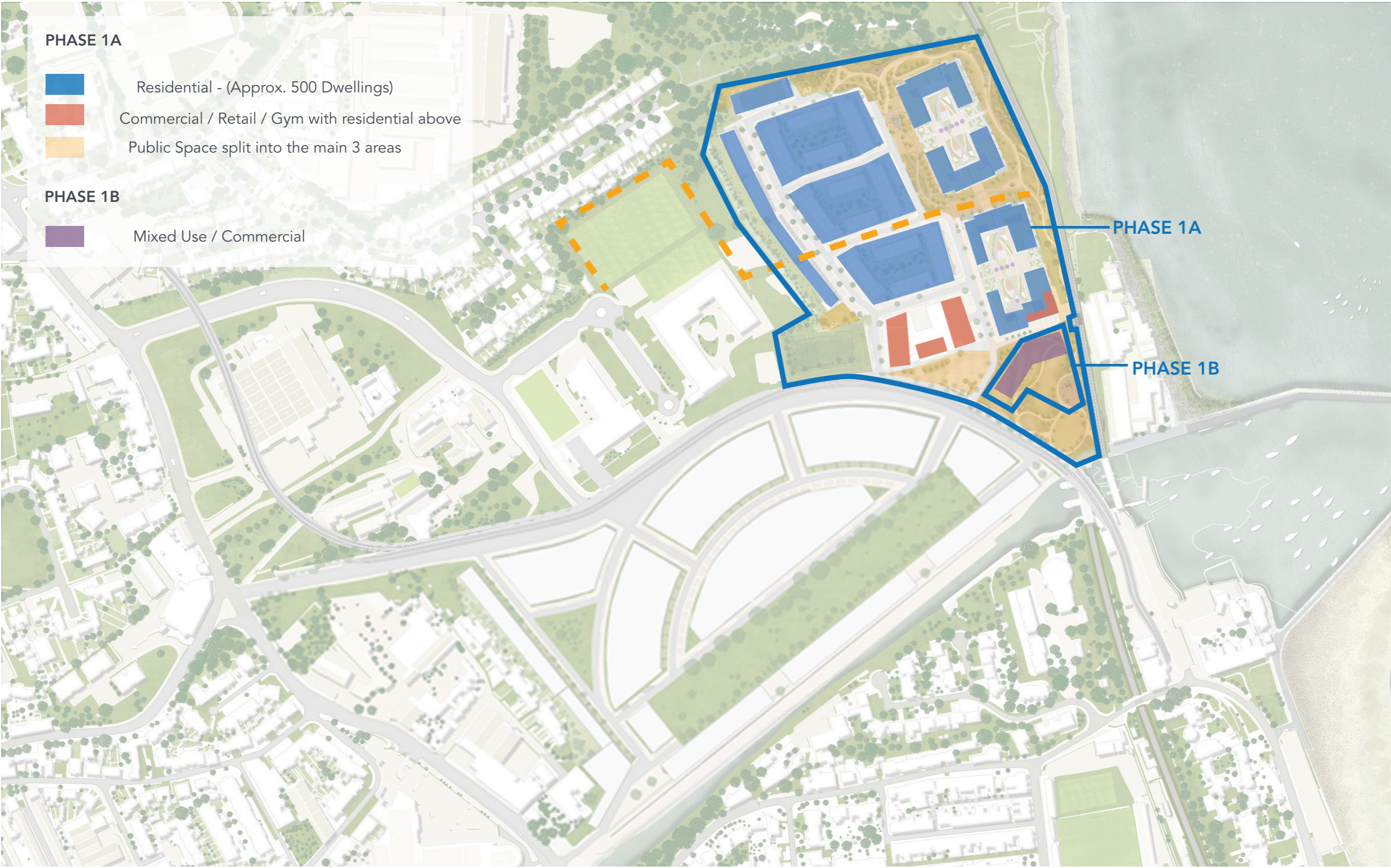
# 5.0 Masterplan



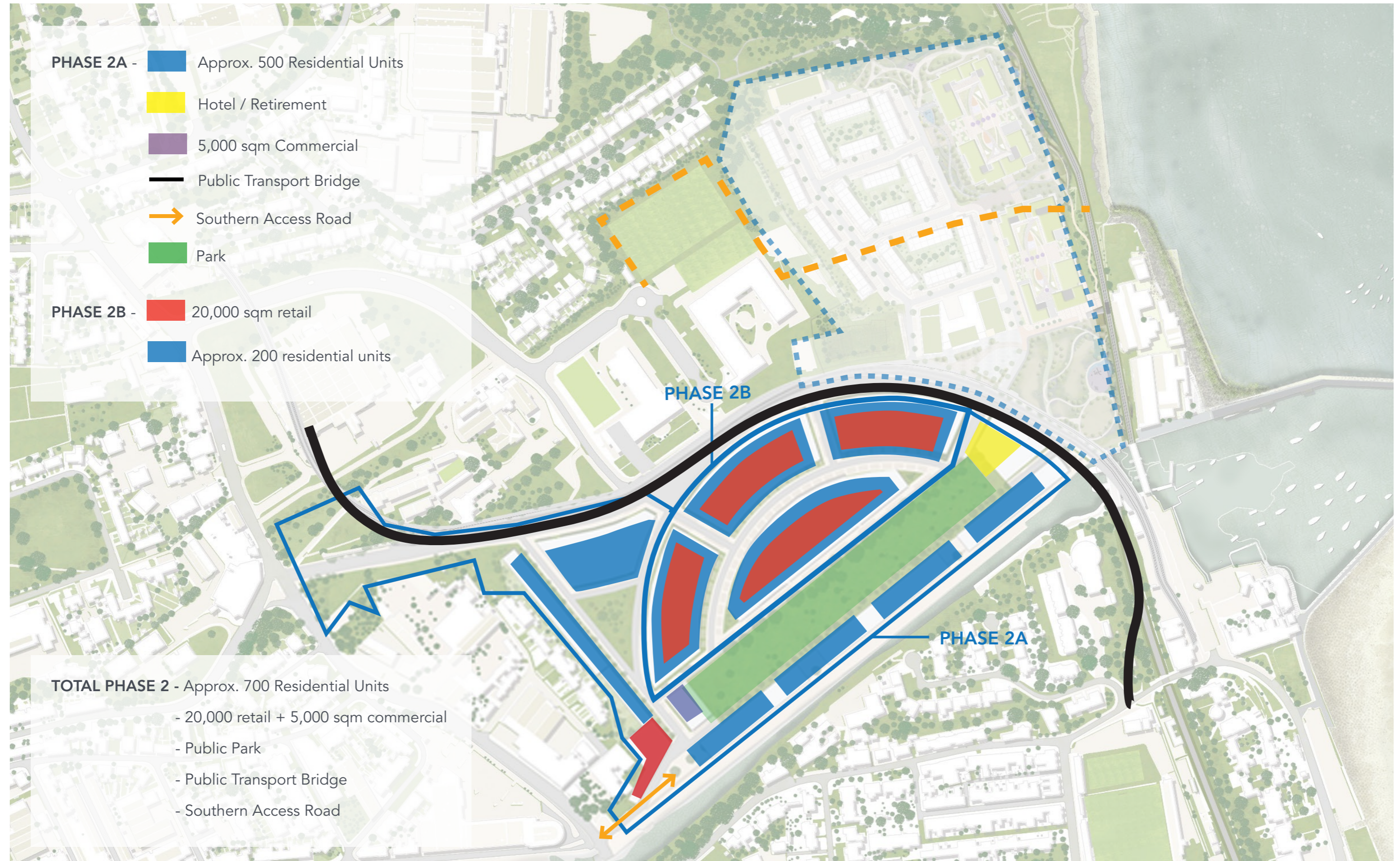
# Masterplan



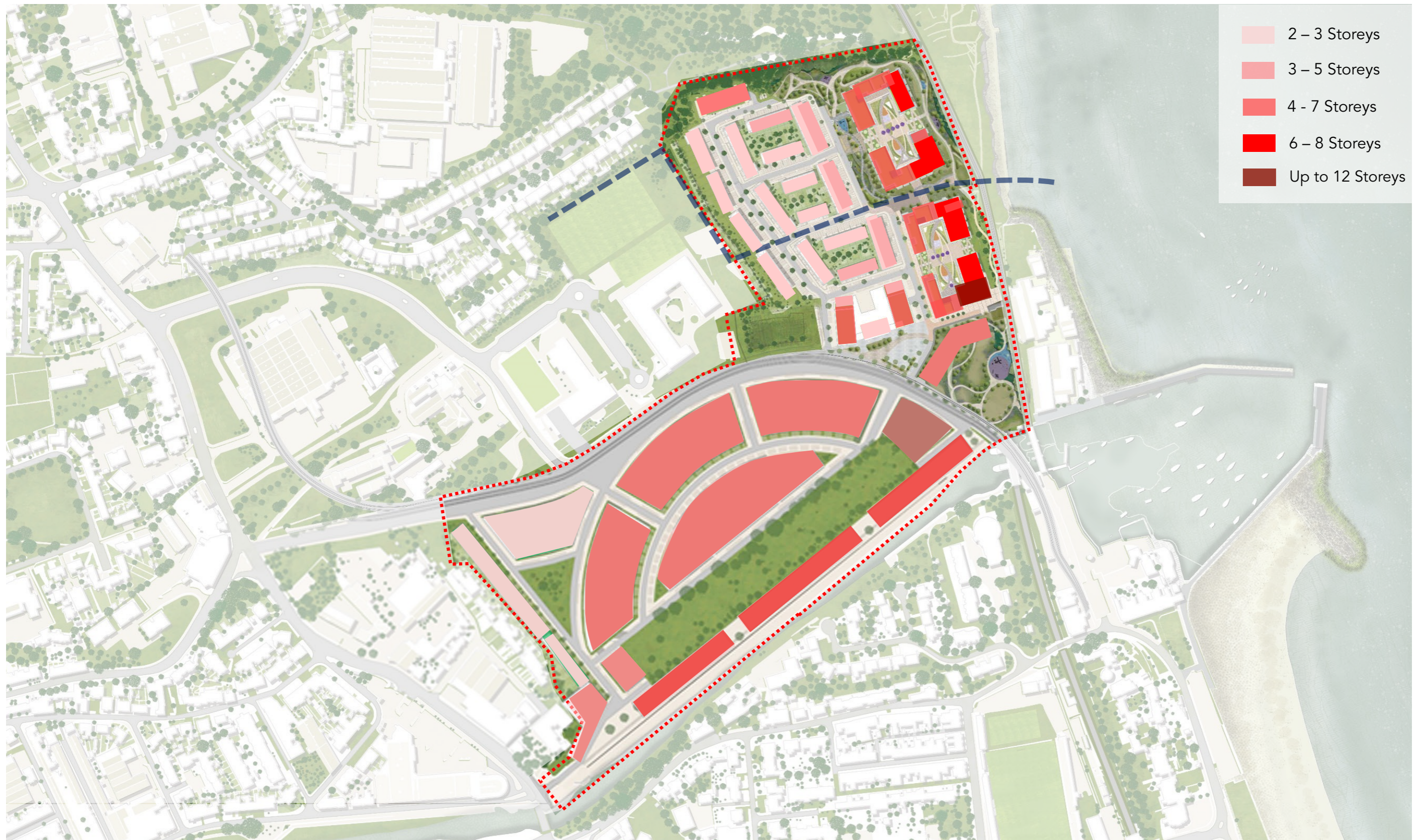
# 5.1 Phase 1 - Mix of Uses



# 5.2 Phase 2 - Mix of Uses



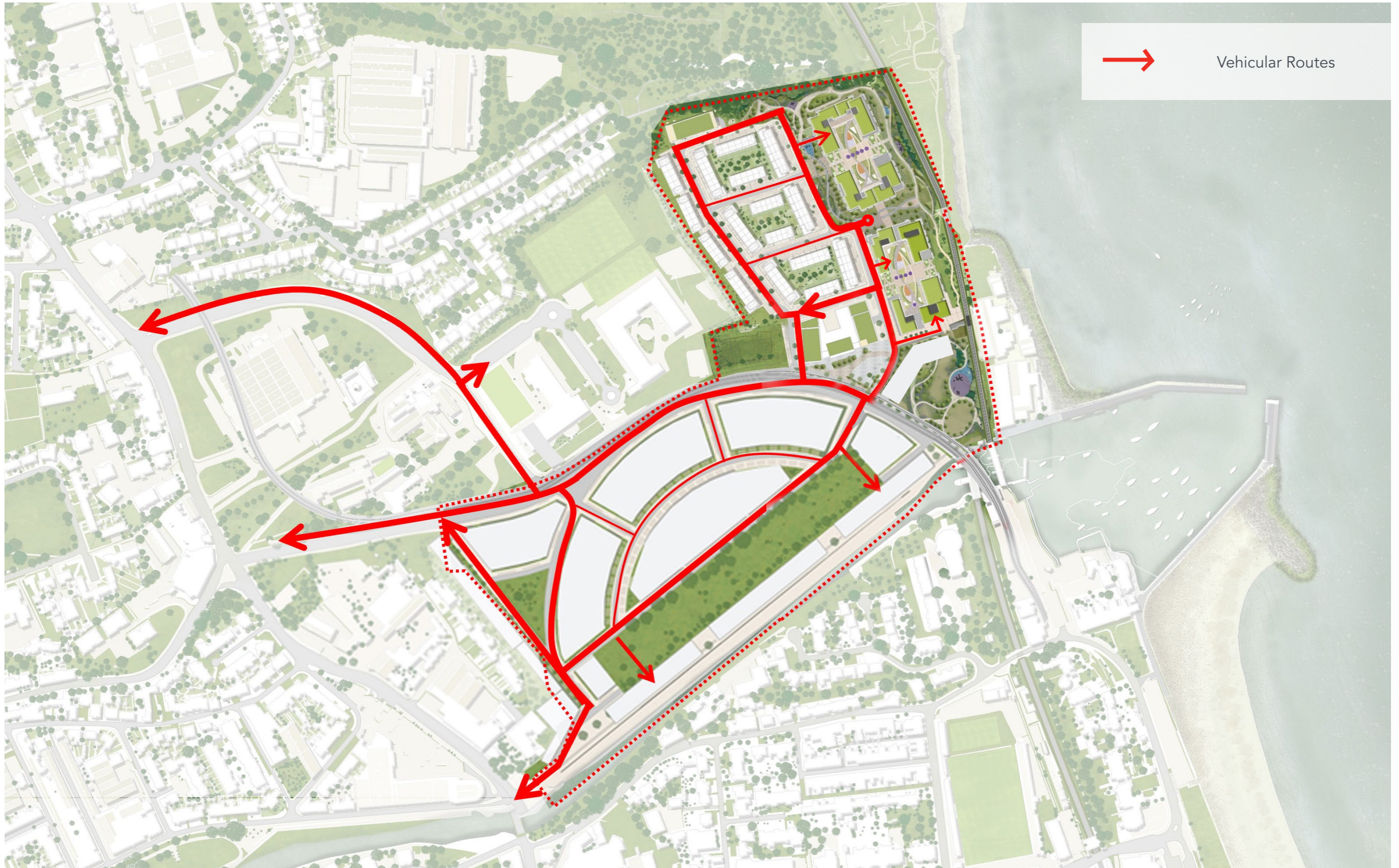
# 5.3 Proposed Building Heights



## 5.4 Sketch Schematic Study

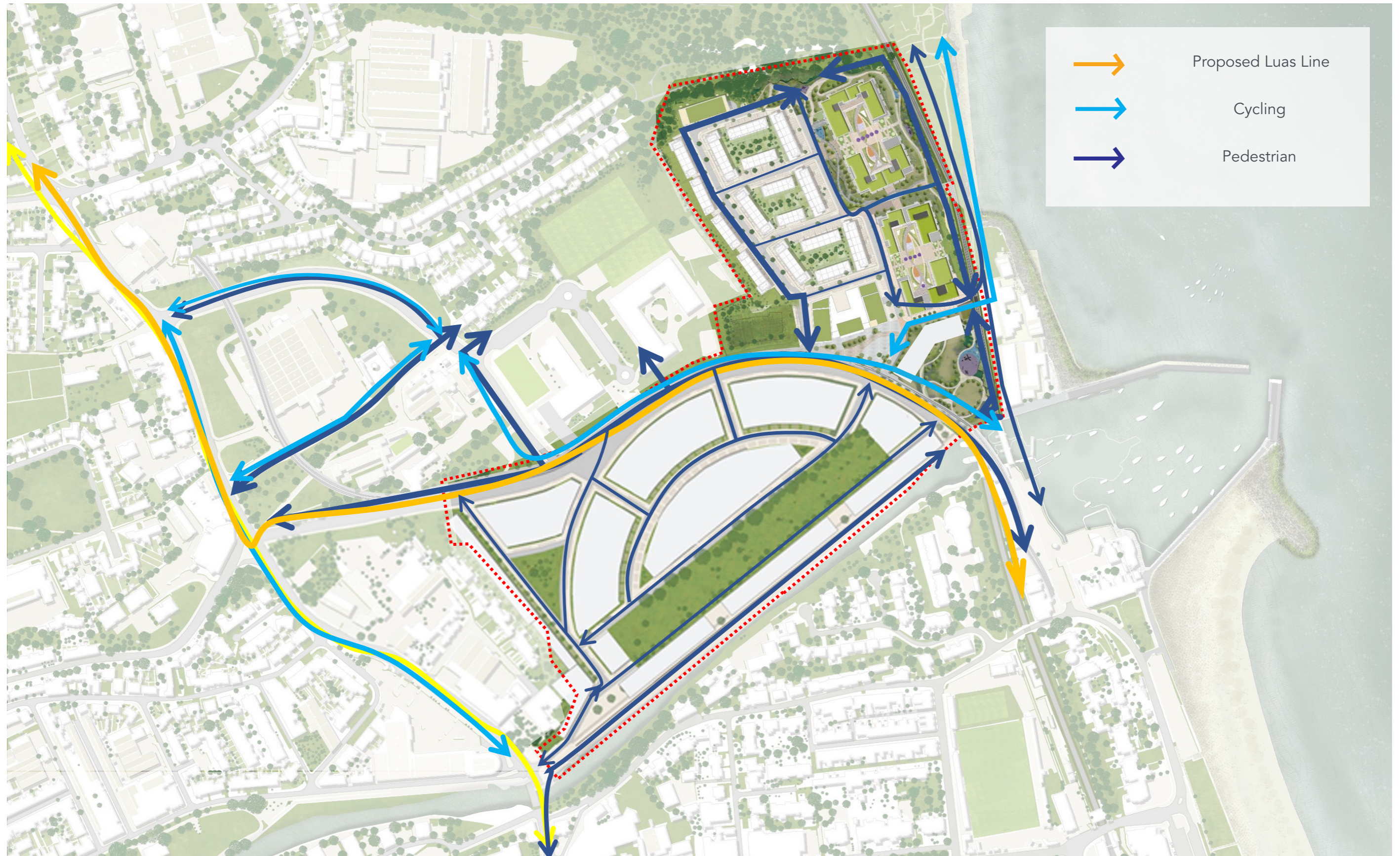


# 5.5 Vehicular Connections

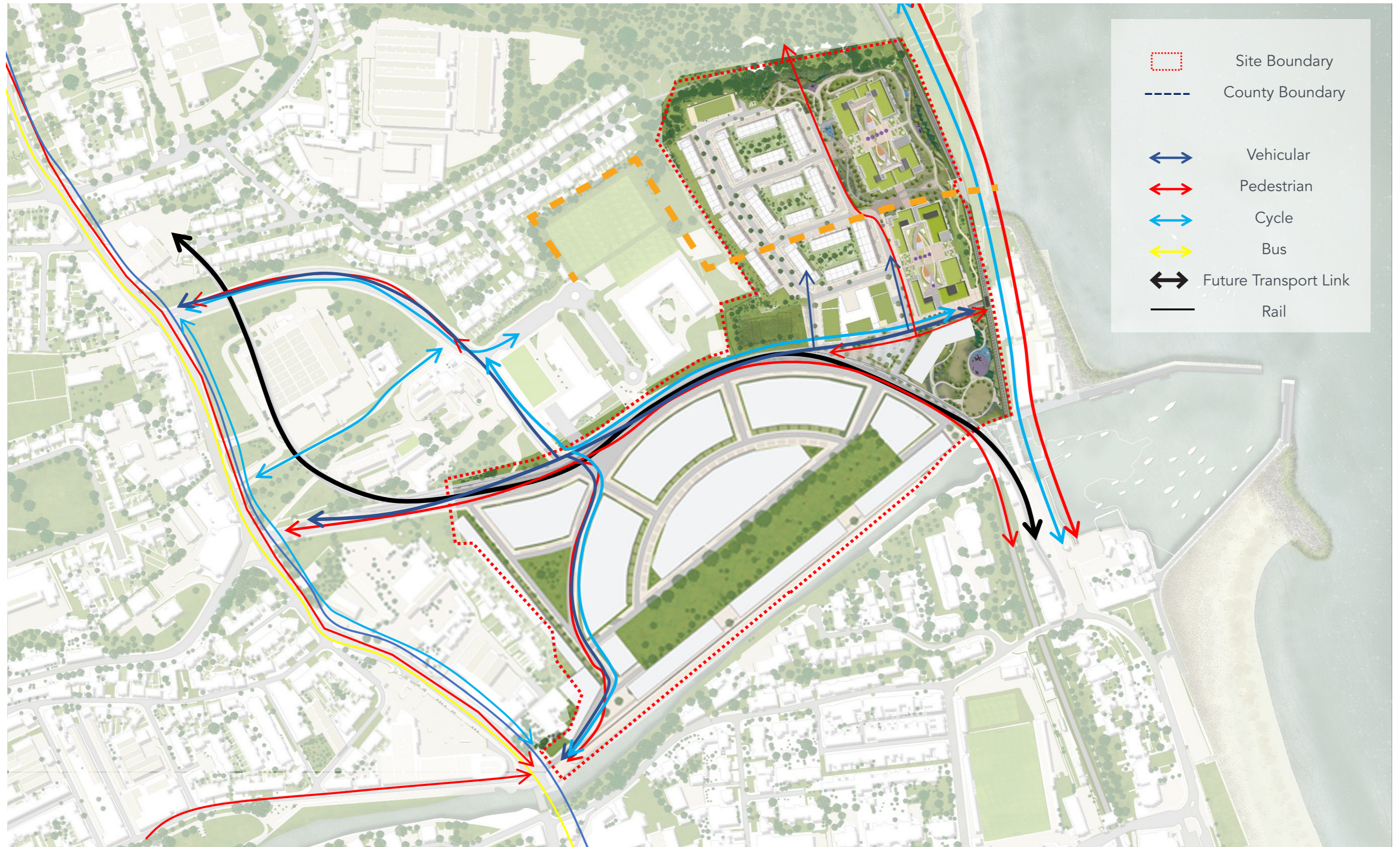




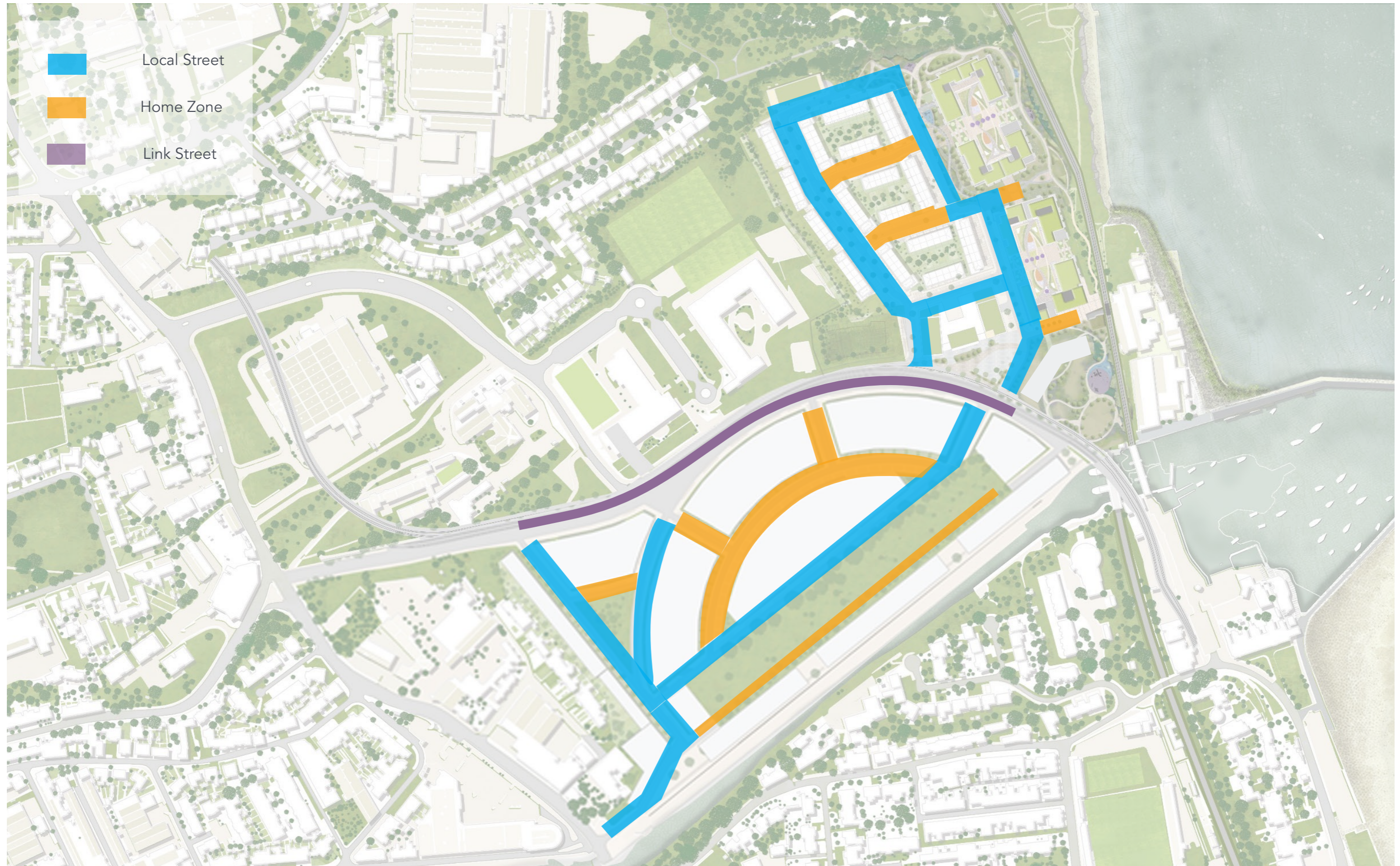
# 5.6 Pedestrian, Cycle, Public Transport



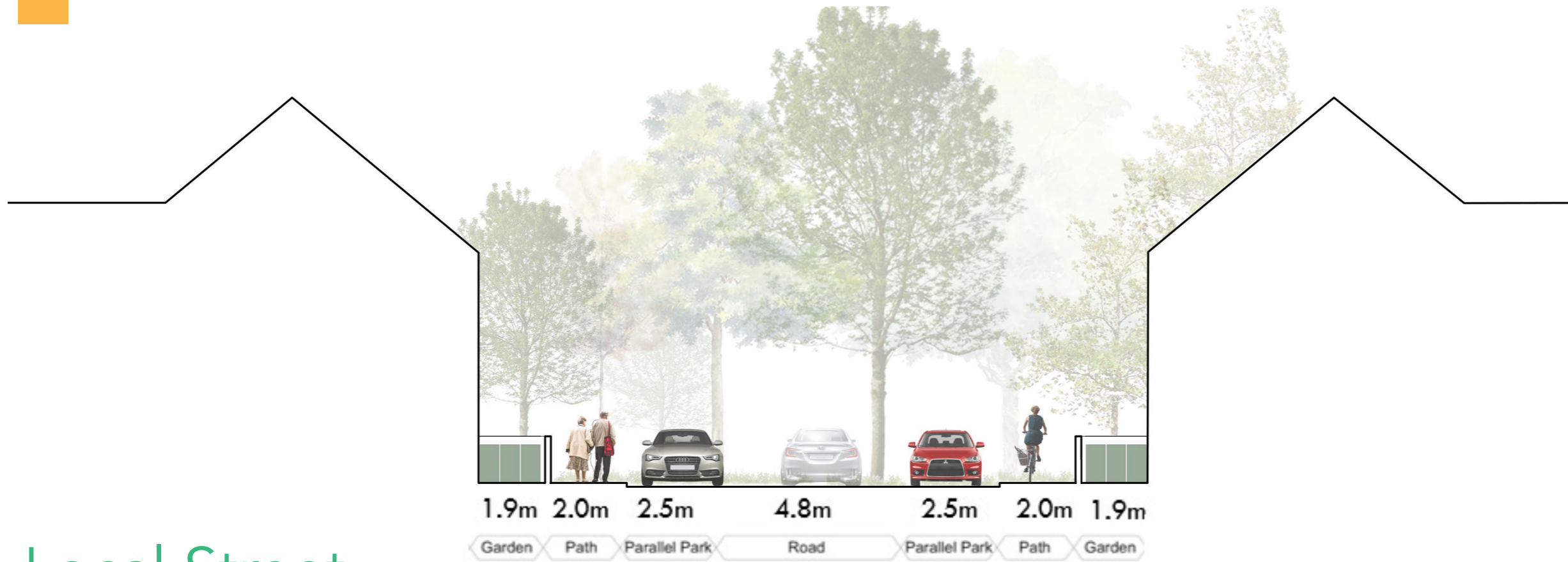
# 5.7 Future Access Map



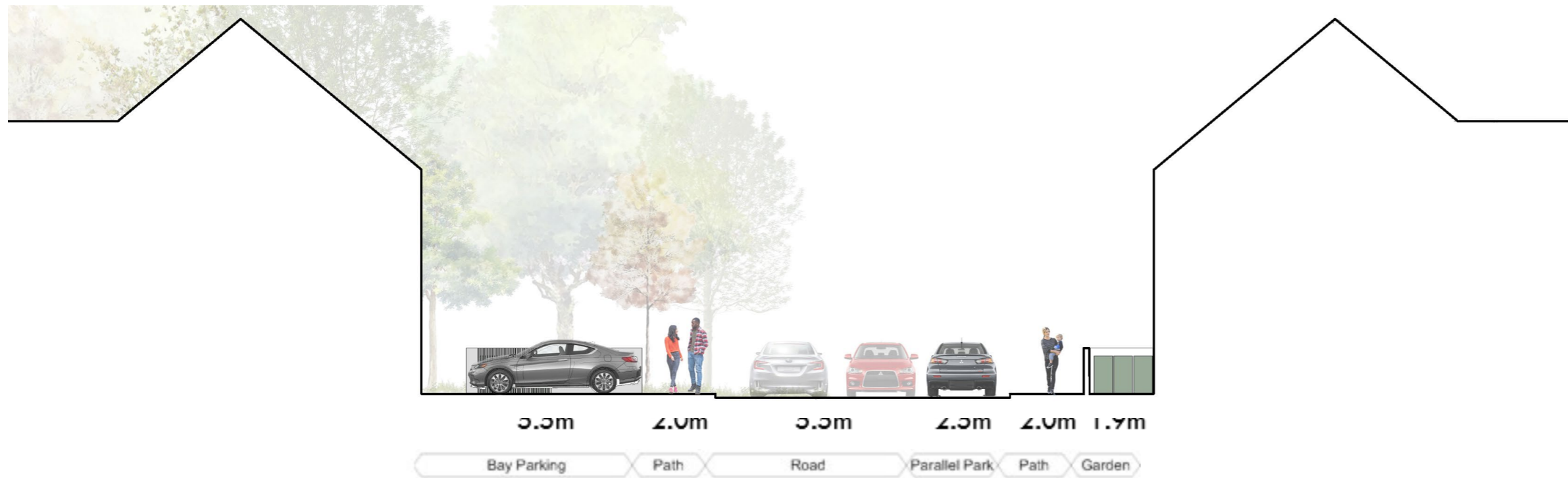
# 5.8 Street Types



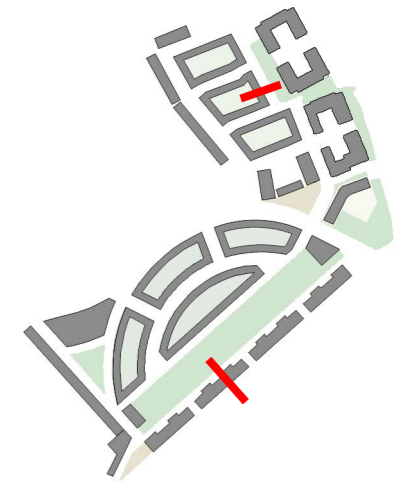
# Home Zone Street



# Local Street



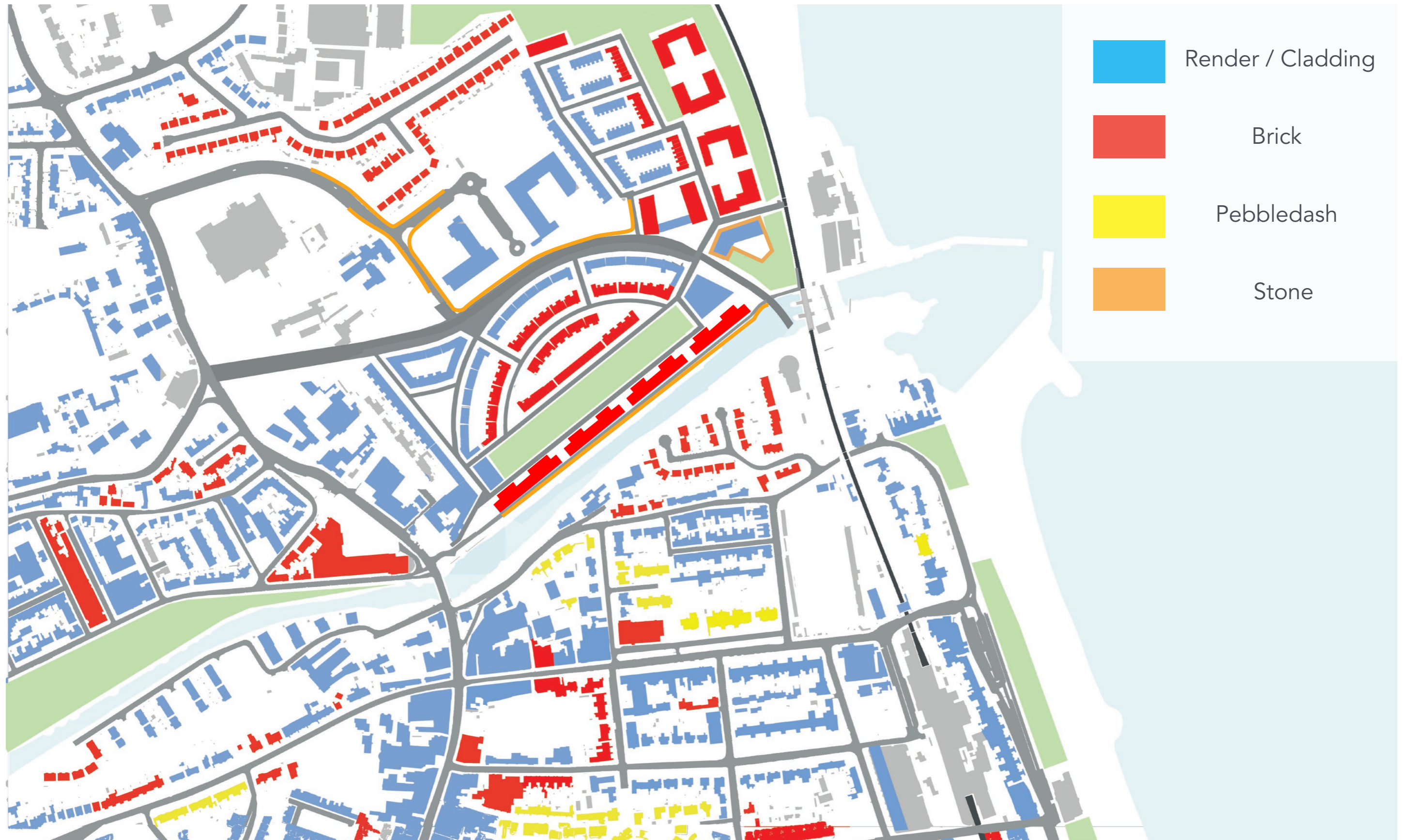
# Woodland Park



# Riverside Park



# 5.9 Future Proposed Materiality



## 5.10 Aerial View



# 6.0 Open Space Strategy

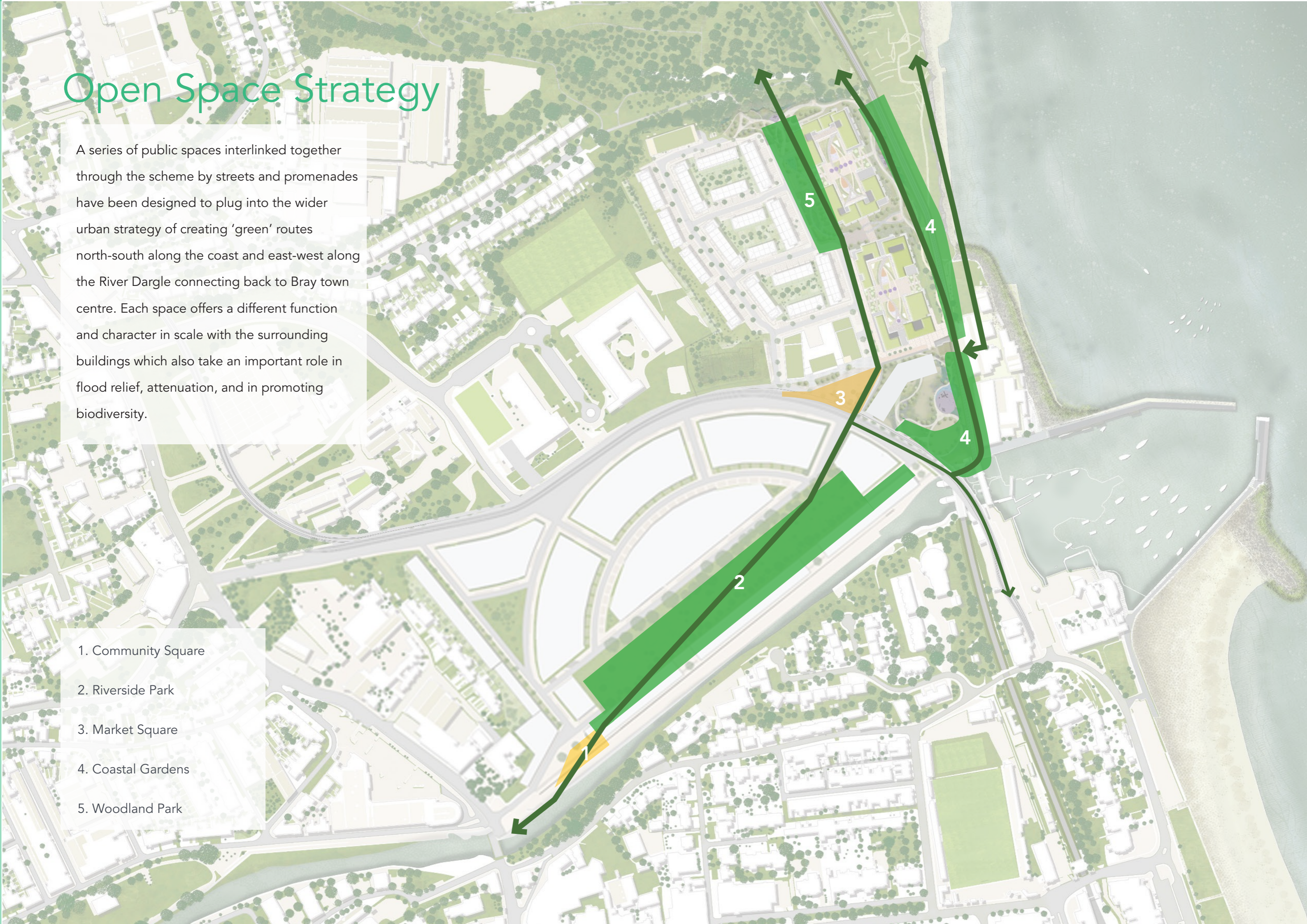




# Open Space Strategy

A series of public spaces interlinked together through the scheme by streets and promenades have been designed to plug into the wider urban strategy of creating 'green' routes north-south along the coast and east-west along the River Dargle connecting back to Bray town centre. Each space offers a different function and character in scale with the surrounding buildings which also take an important role in flood relief, attenuation, and in promoting biodiversity.

1. Community Square
2. Riverside Park
3. Market Square
4. Coastal Gardens
5. Woodland Park



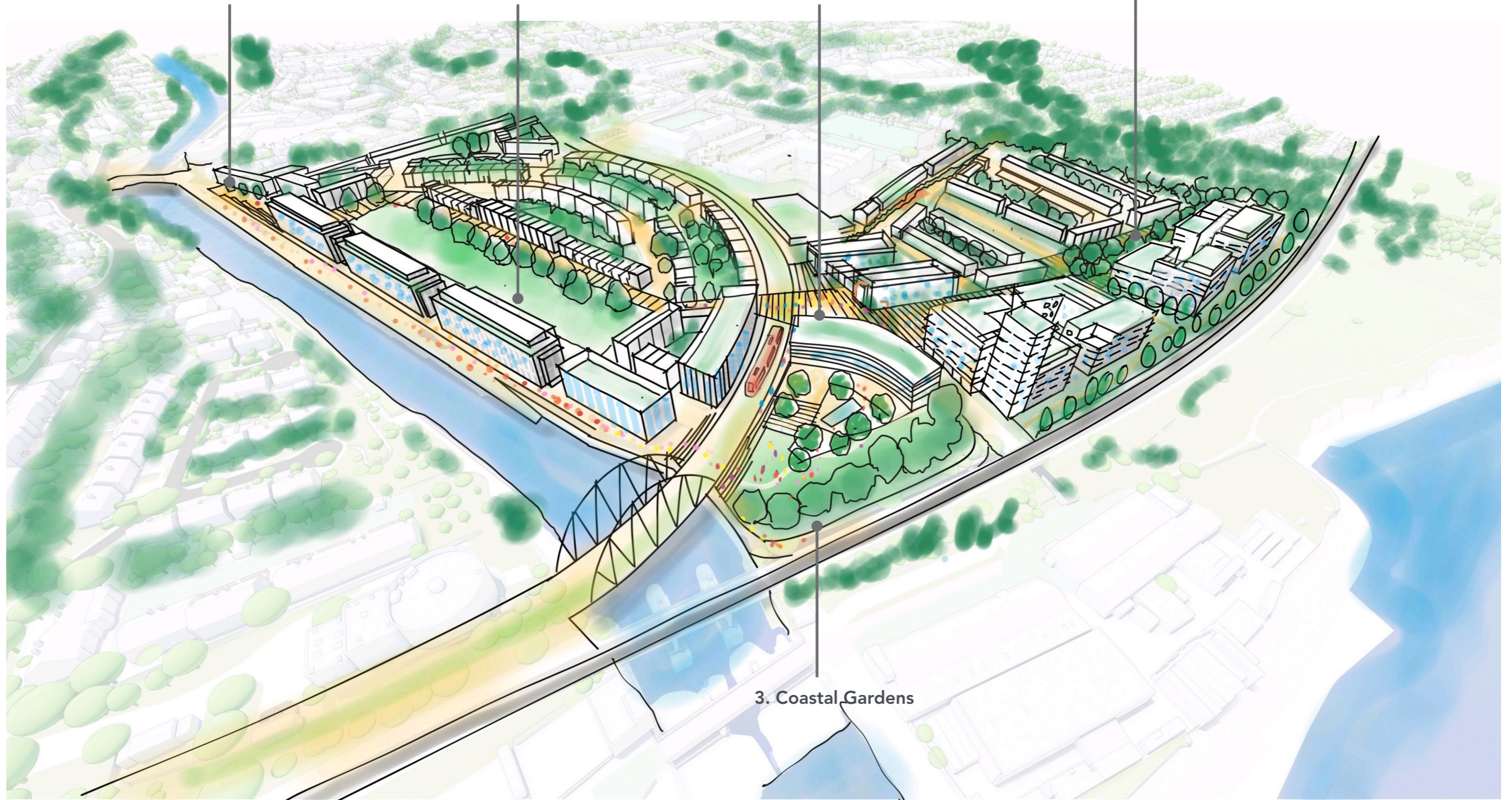
# 6.1 Types of Open Space

1. Community Square

2. Riverside Park + Promenade

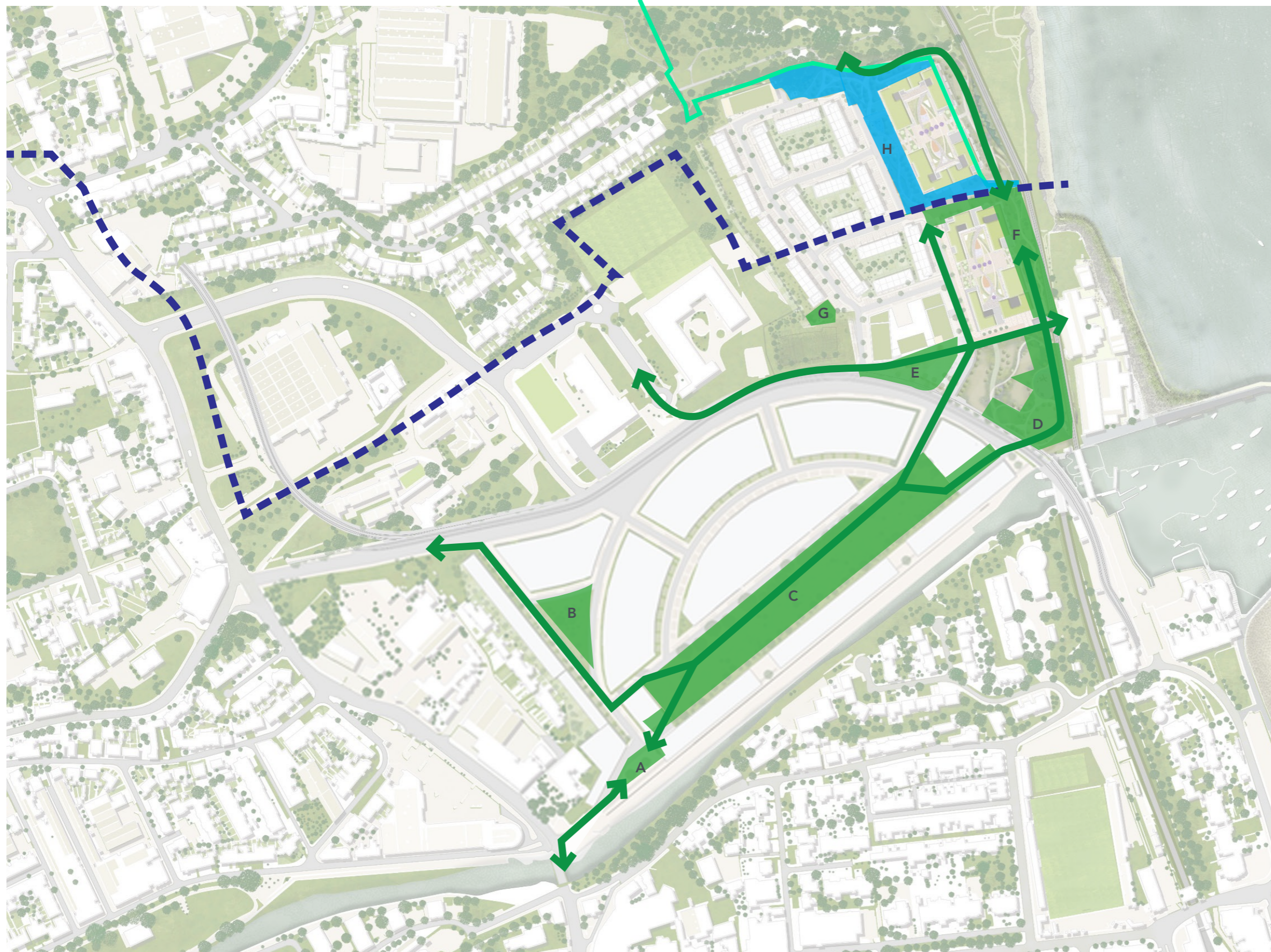
3. Market Square


4. Woodland Park + Upgraded Woodbrook Park



3. Coastal Gardens


# 6.2 Initial Open Space Calculation



 Wicklow Public Open Space

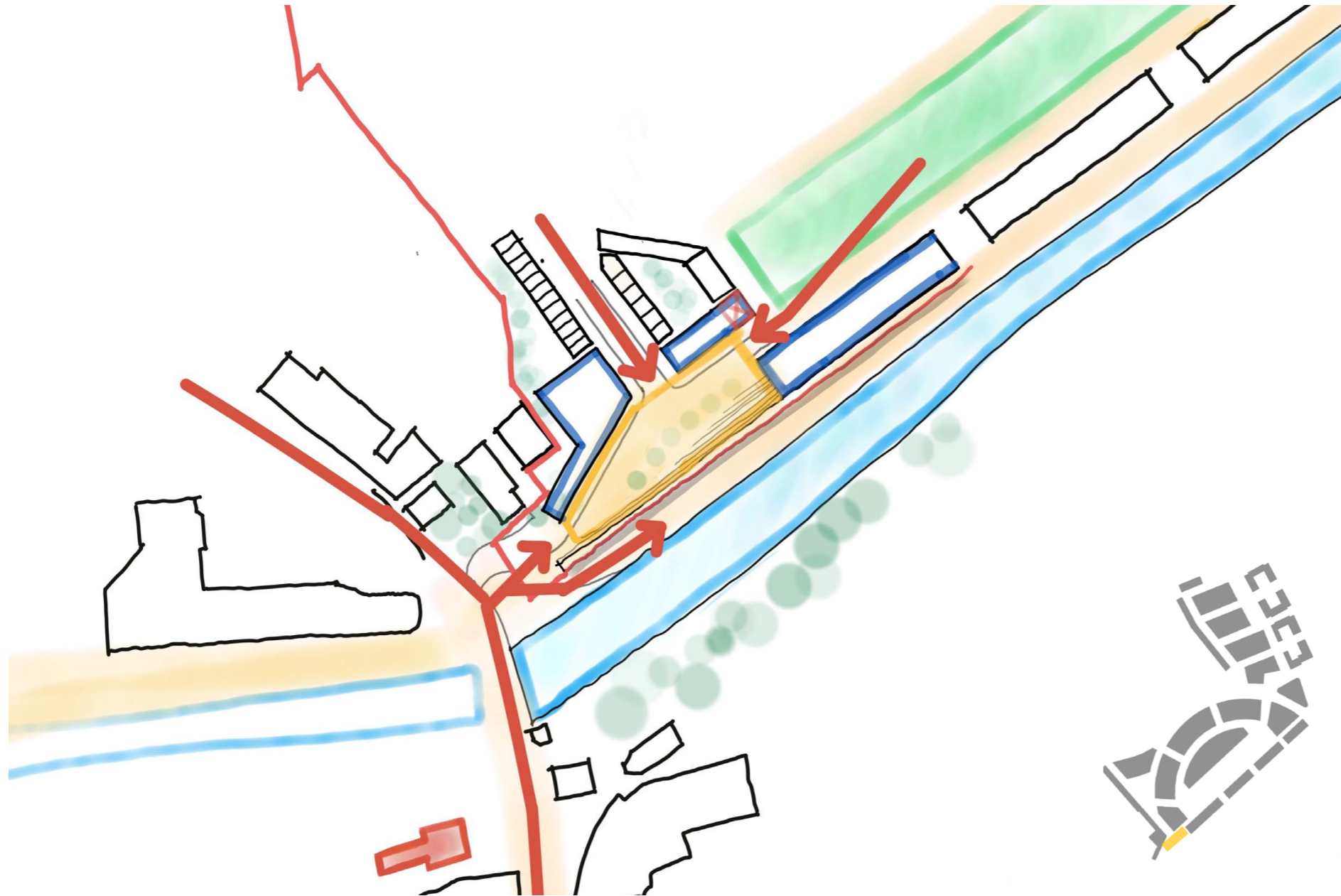
Wicklow Open Space (A,B,C,D,E,F,G)  
=

15% inc 2 ha public park

 DLRCC Public Open Space

DLRCC Open Space (H) = 15%

# 6.3 Community Square



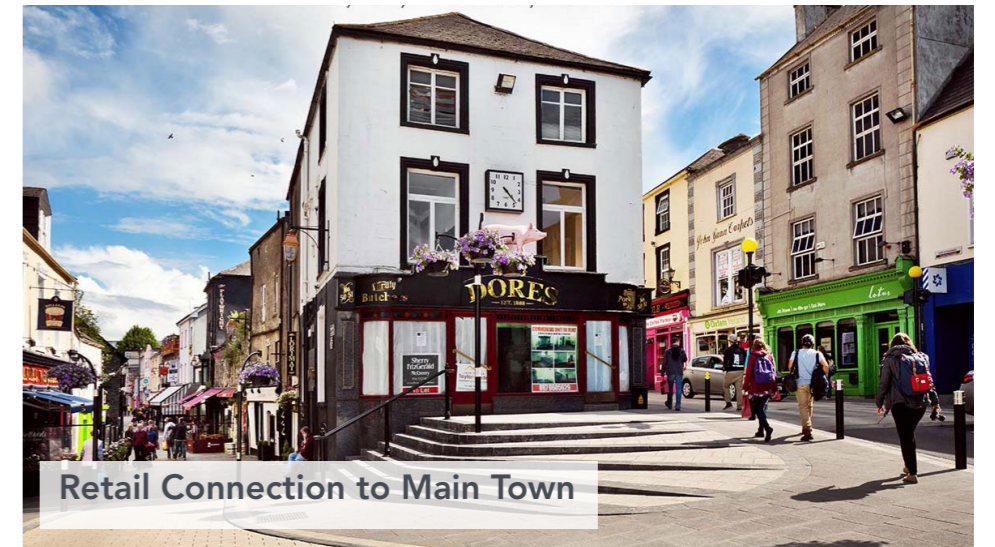
From the towns retail and commercial centre, the scheme will be accessible via the Dublin Road through a community square offering a mix of ground floor commercial and local amenities. The angle of the buildings have been positioned to allow for visual connections to the park, as well as providing views from the park towards to the town centre.



Local Amenities



Lively Atmosphere



Retail Connection to Main Town

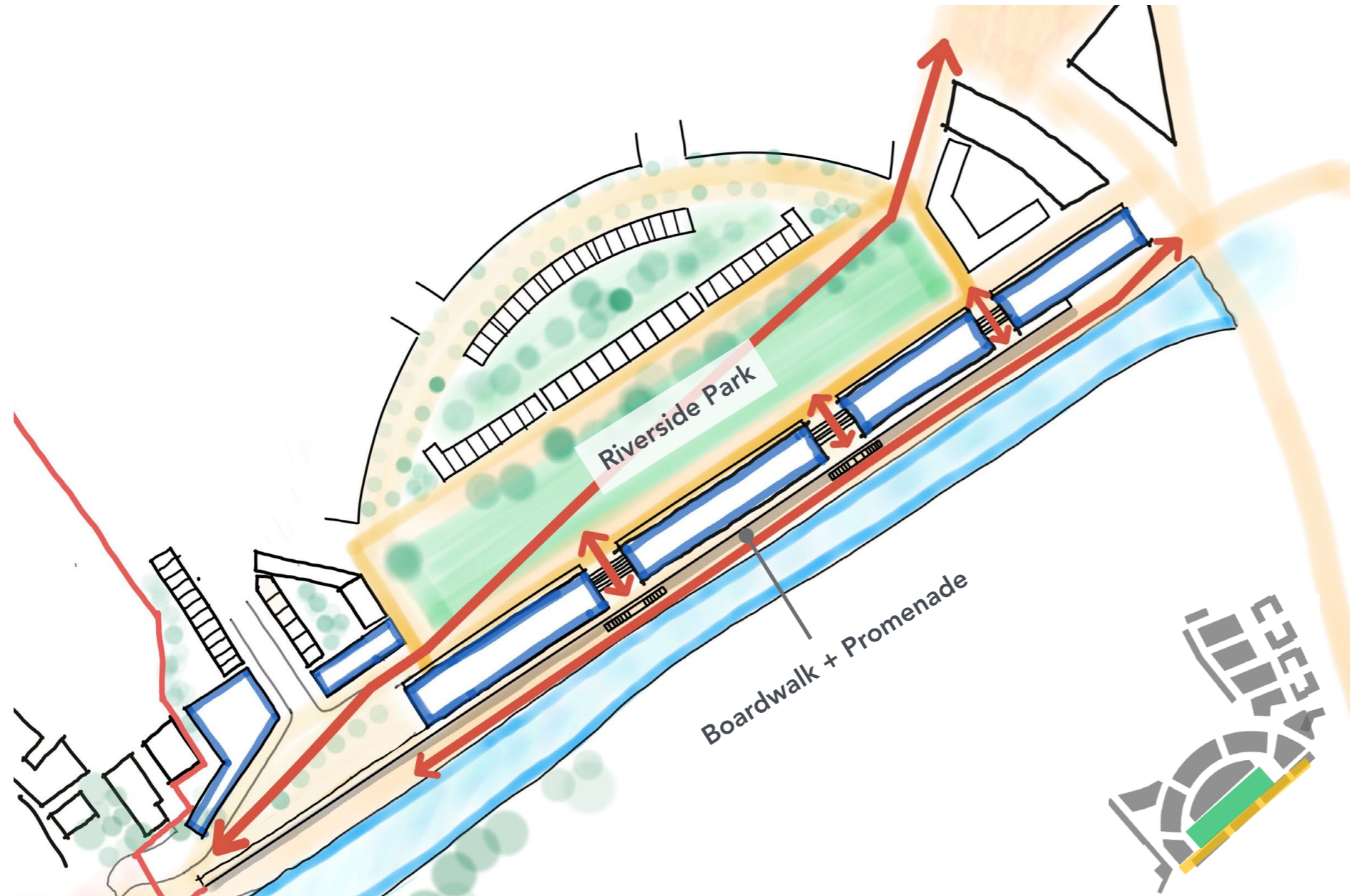


Community Square Sketch

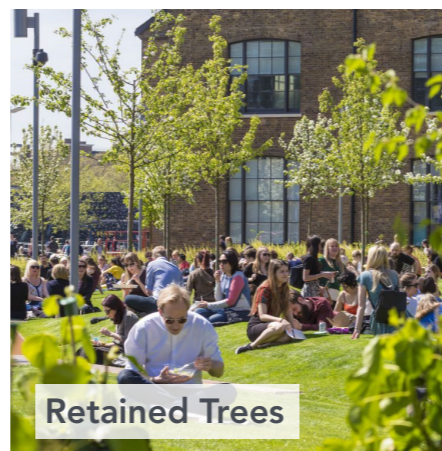


**Community Square Sketch**  
Visual connection to Bray Town

# 6.4 Riverside Park + Promenade



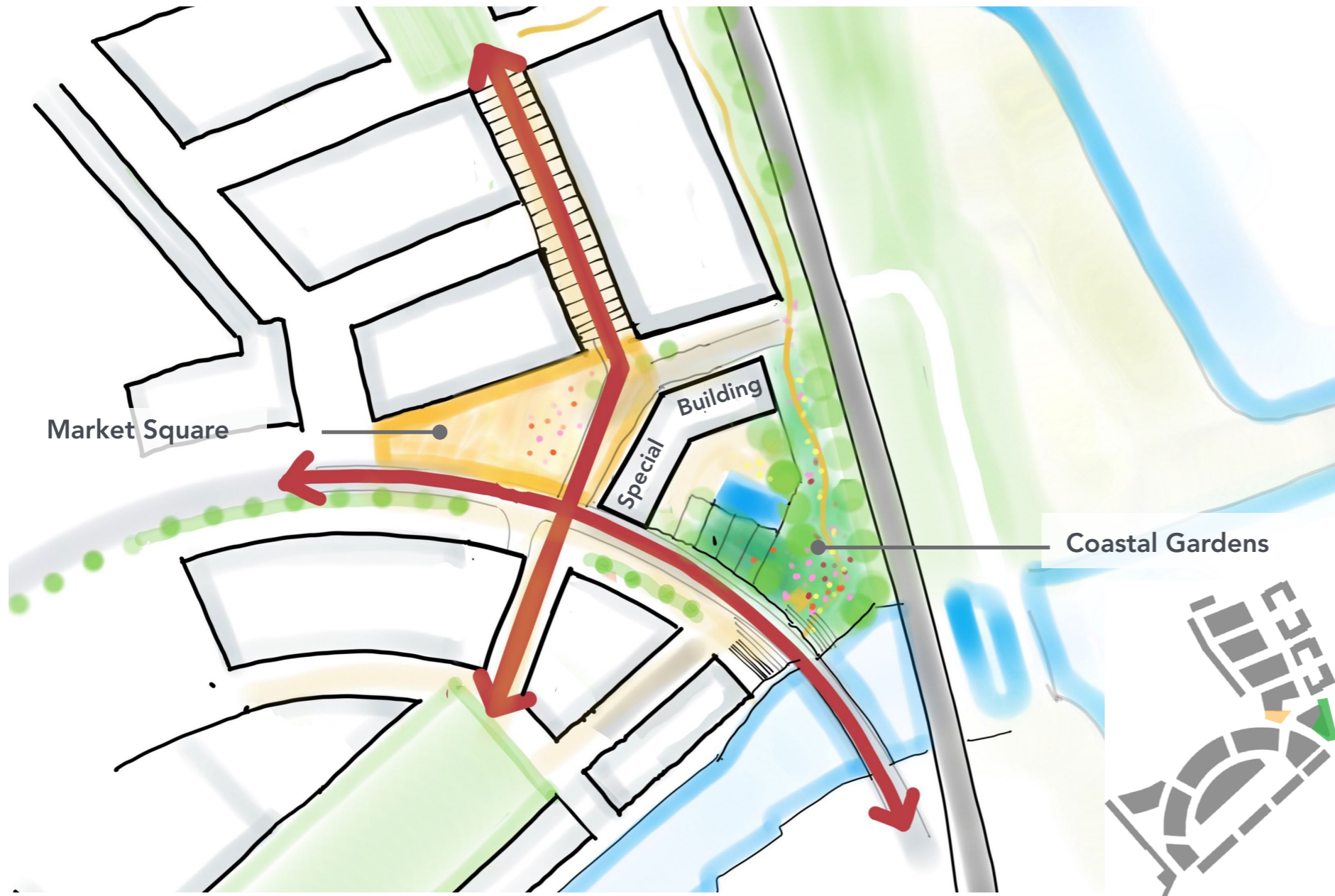
To encourage pedestrian movement through the site and retain as many of the existing trees as possible, we are proposing a softly landscaped 1.5ha park connecting to the Dargle River promenade, the future transport bridge, and the Dublin Road town centre. A pedestrian boardwalk is also proposed allowing access to the apartment buildings and thereby increasing activation onto the waterfront.





Riverside Park Sketch

# 6.5 Market Square and Coastal Gardens



Water Pool

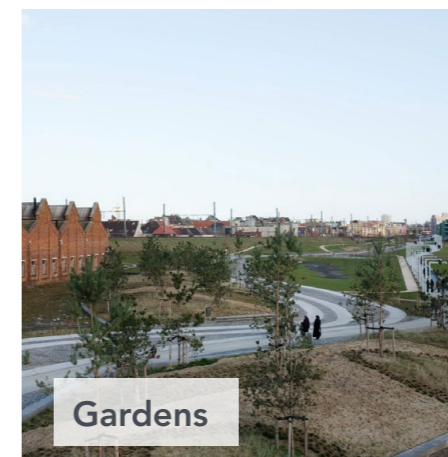


Playgrounds

At the heart of the development, we are proposing an open area providing flexible hard covered space for weekend and temporary marketplaces, community festivals, and exhibitions. A special building echoing Bray's history as a seaside resort will act as a focal point to the square and a major draw for daytime and nighttime activities.



Special Building



Gardens



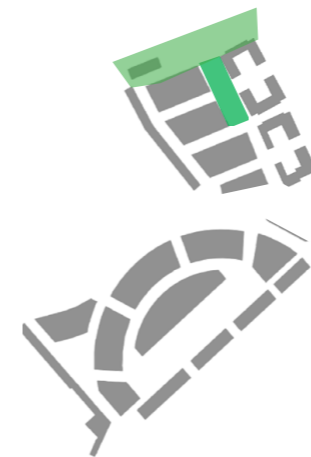
Sportsfields





Market Square Sketch

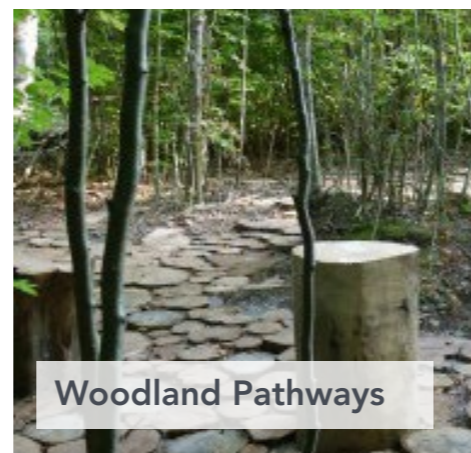
## 6.6 Woodland Park



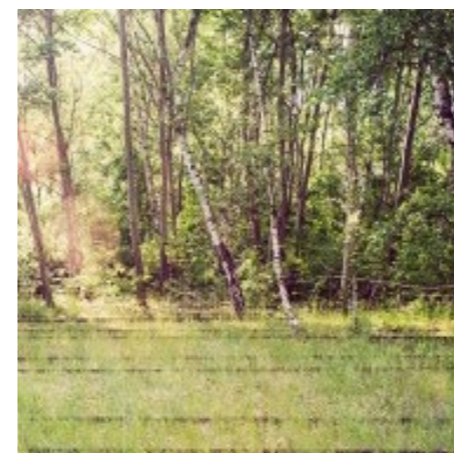
Mixed Planting and Green Spaces



This is the most northern point of the Coastal Quarter which offers fantastic coastal views of Bray Head. A linear park linking to Woodbrook Glen is proposed, ideal for dog walkers, residents, and tourists to walk through to reach Bray town centre. The character of this area takes particular reference from the surrounding woodland, winding pathways, and cycle tracks to create a natural boundary for the scheme.



Woodland Pathways

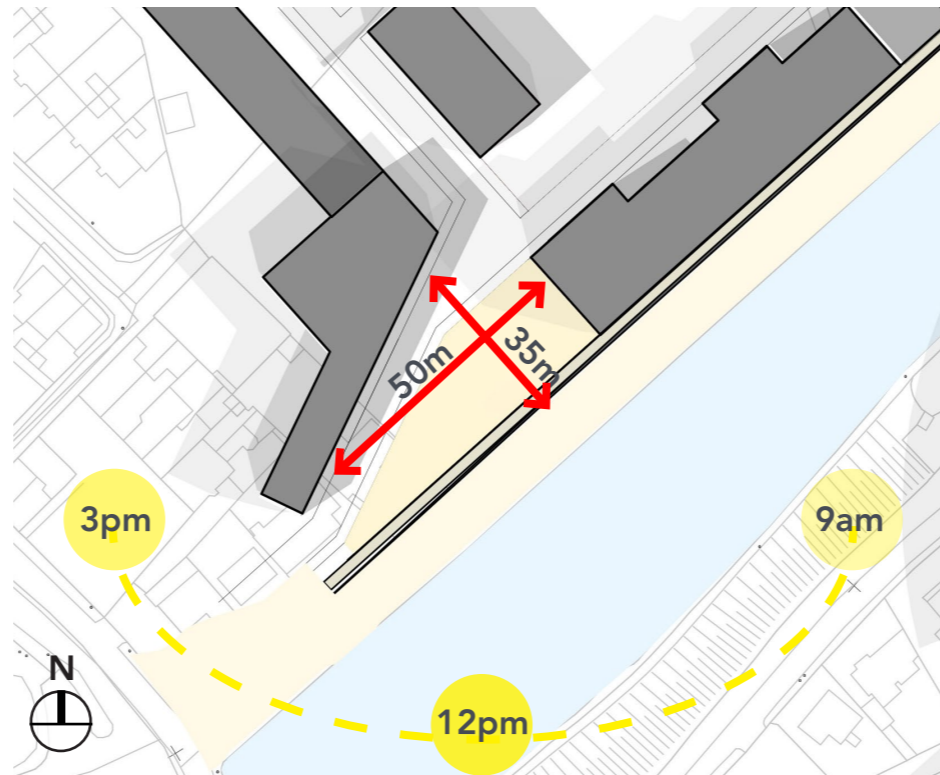




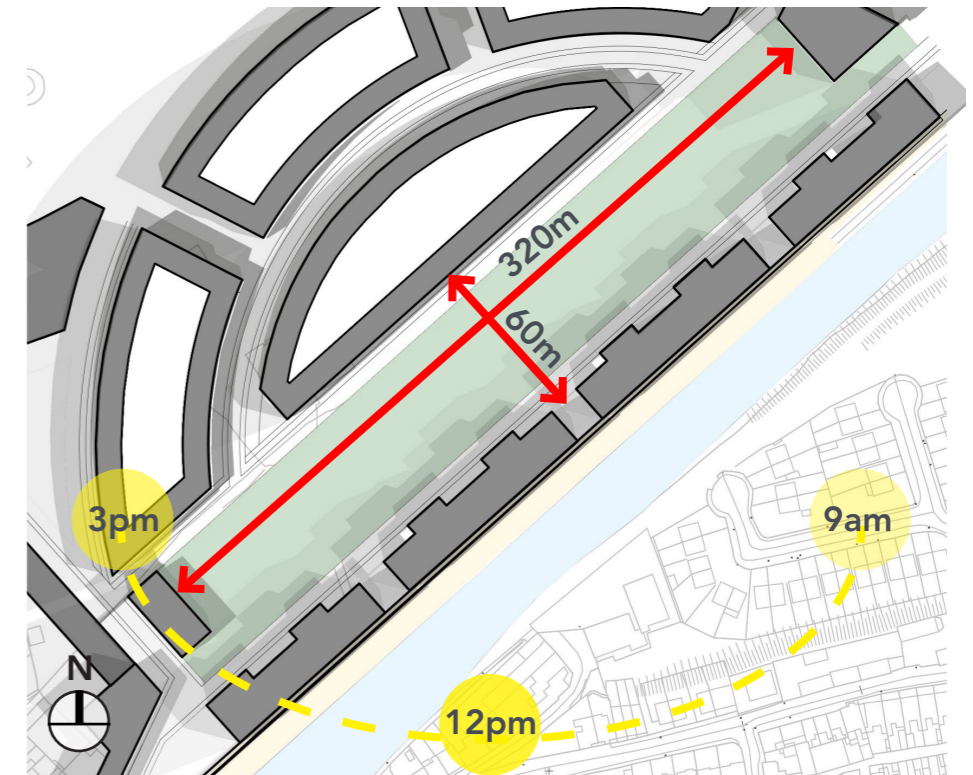
Woodland Park Sketch

# 6.7 Sunpath Analysis

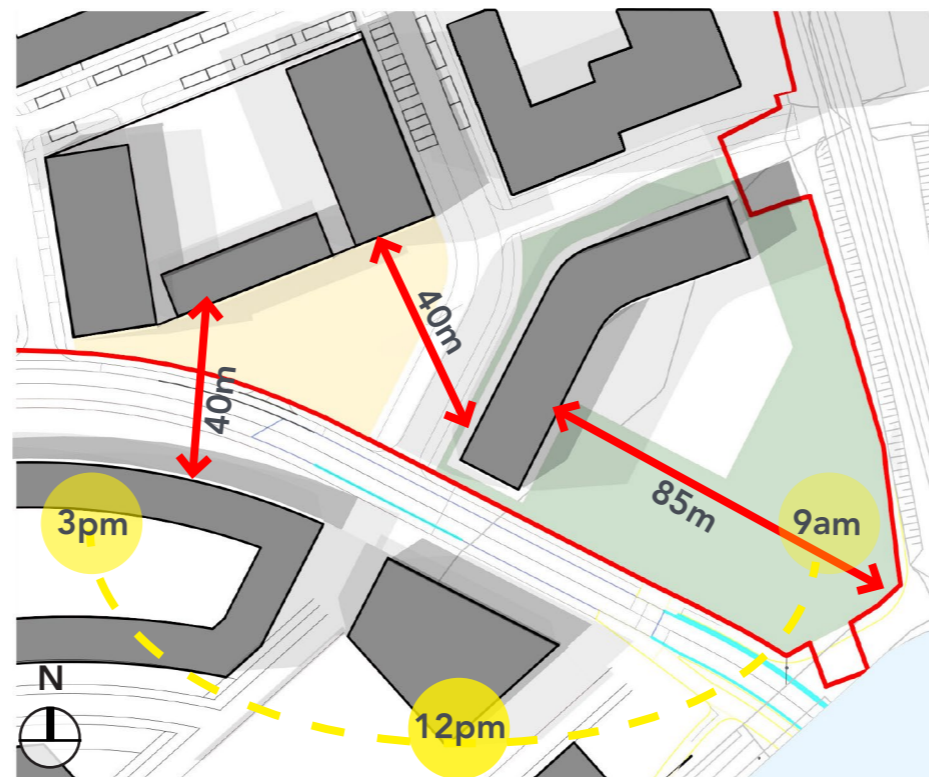
The aspiration for this masterplan is to create a series of vibrant public spaces that enjoy adequate levels of daylight and sunlight to encourage user dwell time. The orientation, size, and position of each of the four key spaces has been designed to optimise south facing sunlight at street levels and provide usable space for activities, performances, outdoor seating, and park land reflecting the existing green space of Bray. Breaking plot massing and adding roof set backs has been considered with regard to the effects of over-shadowing. The right hand side diagrams demonstrate our initial sun path analysis:



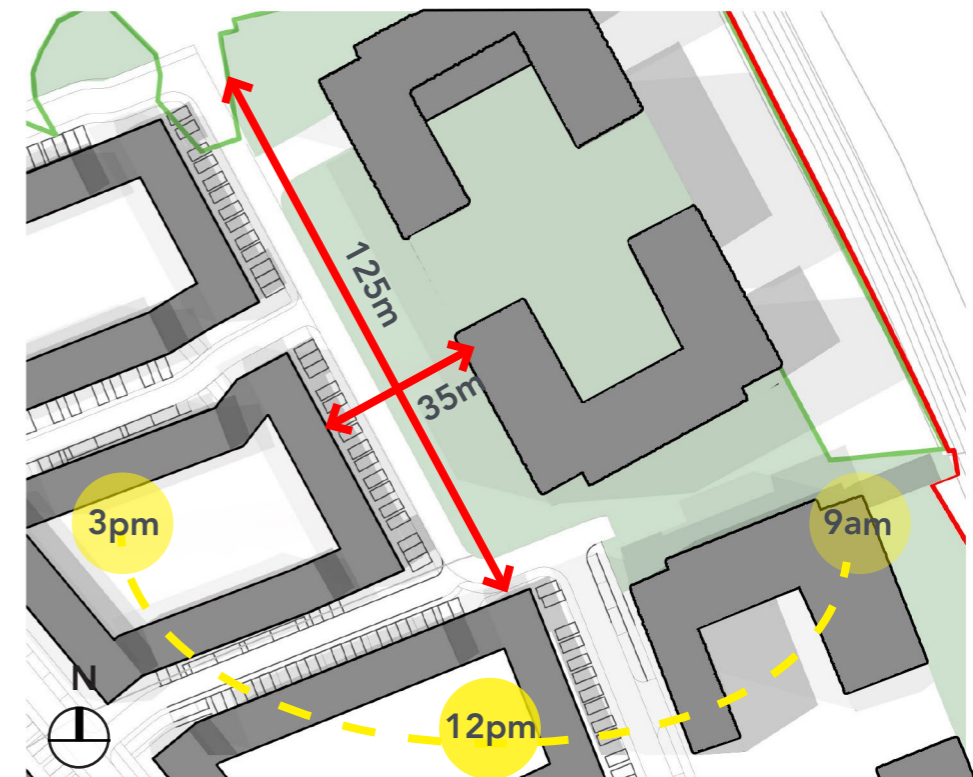
1. Community Square



2. Riverside Park



3. Market Square / Coastal Gardens



4. Woodland Park

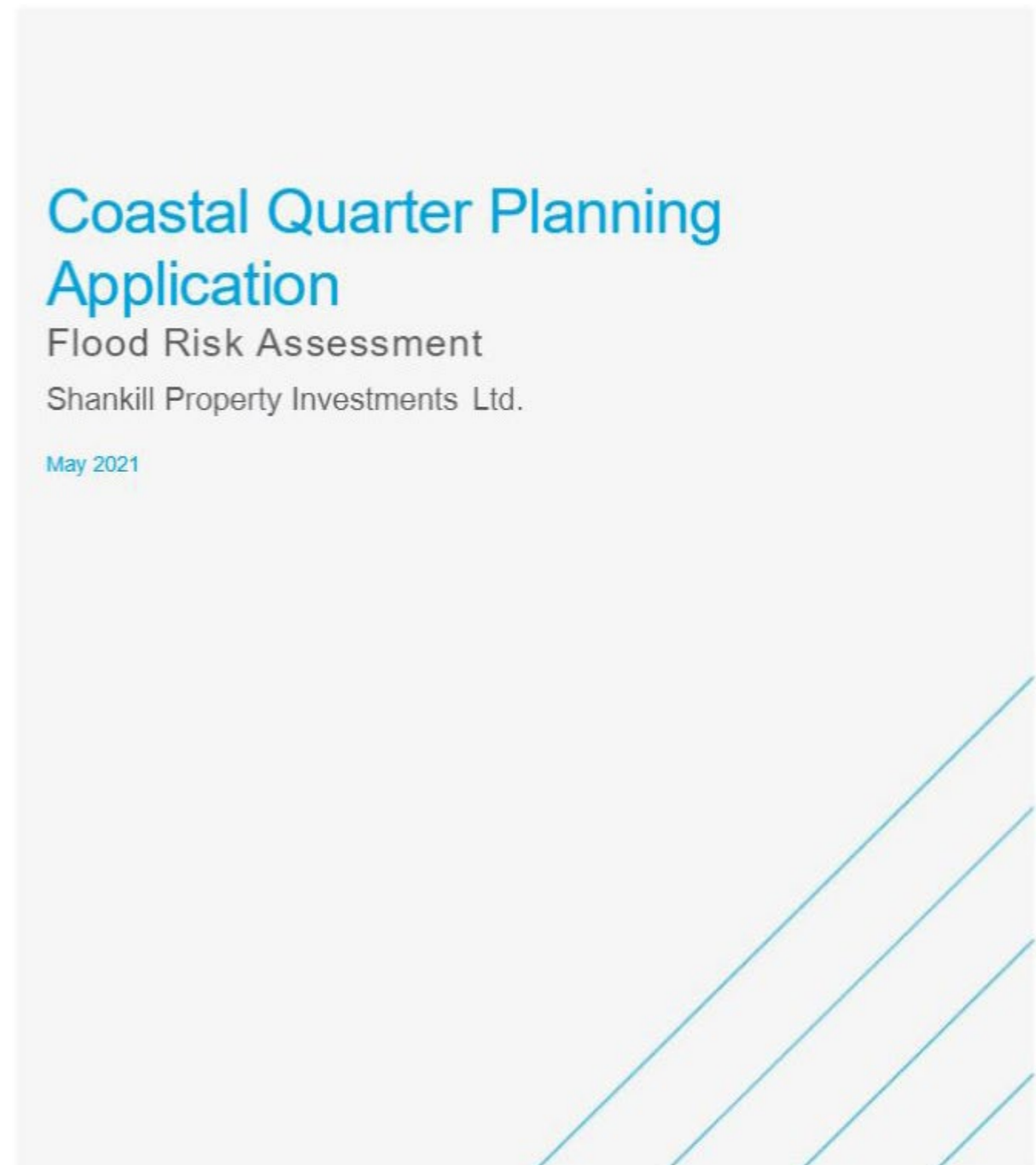
# 6.8 Flood Risk Assessment

## Introduction

As part of the initial site constraint and opportunity analysis of the Masterplan site carried out by the Design Team, a number of items were identified as being critical in determining the masterplan form and layout, including how the existing site topography relates to the River Dargle Flood Defence Scheme.

The River Dargle Flood Defence Scheme was completed in October 2017 and provides protection against both 1-in-100-year fluvial flood events and 1-in-200-year tidal food events. The masterplan layout, form and levels have each been guided by Atkins, who in tandem with the masterplan progression have carried out a specific Stage 3 Flood Risk Assessment (FRA) for the Phase 1 Coastal Quarter Lands to ensure that the building footprints, floor levels and site topography were all developed in cognisance of the FRA. This site specific FRA accompanies the Coastal Quarter planning application.

In addition to the specific FRA for Phase 1, Atkins also provided guidance regarding the building position and levels of the Phase 2 River Quarter Lands as identified in section 5.3 above. As detailed design is progressed for the Phase 2 River Quarter Lands, a specific Stage 3 FRA, including a justification test, will be carried out and included in as part of any relevant future planning application.



# 7.0 Masterplan Design Code



# Masterplan Design Code

## 7.1 Coastal Character

One of the more unifying elements to the coastal quarter character is its natural assets and landscape that begin at former golf club lands and extends along the Dalkey Coast, surrounded by vast expanses of trees, rocky cliffs and pebble based beaches. In this location, large white mansion blocks set within the green hillside sets a strong precedence for the area representing the built form and materiality.

It is imperative that each design decision ensure that the new proposals enhance and are subservient to the landscape. This in turn will inform the design in the way of the following elements.

**Routes** - Ensuring that built forms are arranged and consider access to the key natural assets, such as walking routes to the northern woodlands and access to the new harbour bridge

**Views / Vistas** - Using the proposed buildings to create framed views to the surrounding elements such as Bray Head and the Harbour.

**Scale** - Using the appropriate scale and mass of the buildings to offer the fitting backdrop for the existing landscape

**Material Choice** - Applying a sympathetic palette of materials that reflect the colours and tones of the sites natural assets



# Masterplan Design Code

## 7.2 Local Precedence



Sorrento House



Wicklow Art Deco House



Dalkey Coast



# Masterplan Design Code

## 7.3 Proposed Character Areas



1. The Orchard



2. Market Square



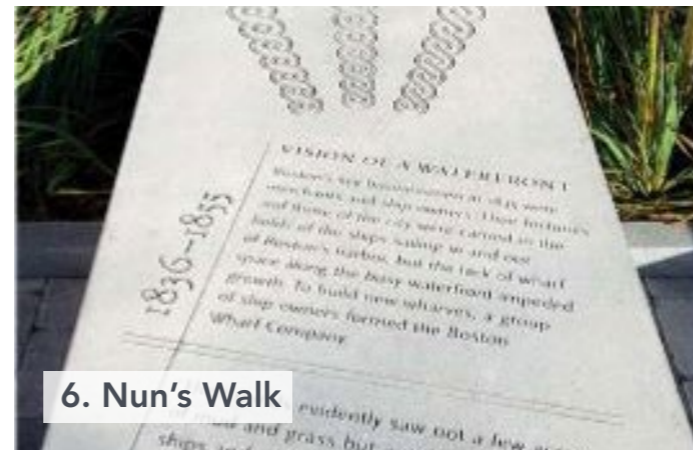
3. Coastal Gardens



4. Woodland Setting



5. Green Spine



6. Nun's Walk



7. Community Street



8. Podium Gardens

# Masterplan Design Code

## 7.4 Bray Typologies

To create a varied development across the site, a series of housing typologies have been created to portray specific characteristics in relation to the principles of the masterplan.

The characteristics of Type A and B are common among the quieter traditional residential streets in Bray. A mixture of single and two storey bay windows add articulation and a varied roofline to the street. The end projecting bay on Type C is a unique feature pushing the building footprint out at ground floor and forming an entrance into the property. Type D is the brother of the prevalent 19th Century Dublin

### Bray Type A



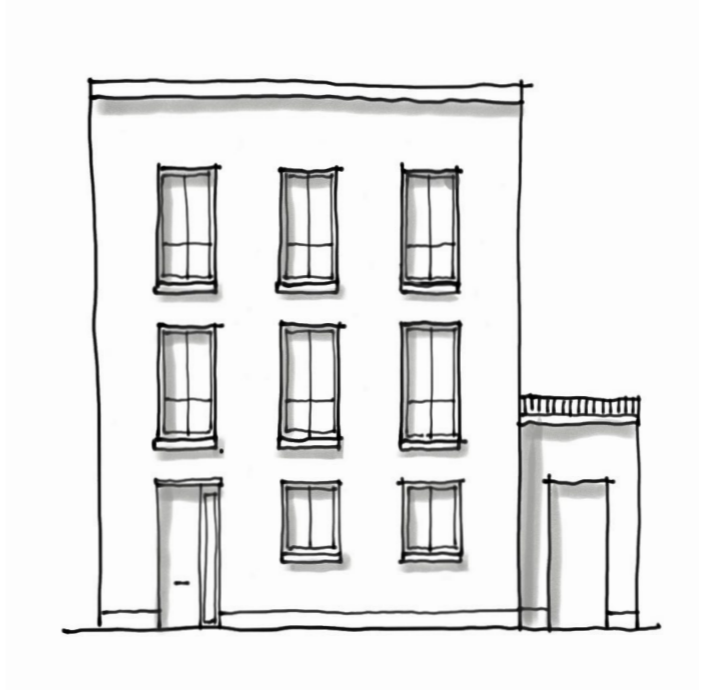
Traditional House with Single Storey Bay Window

### Bray Type B



Traditional House with Two Storey Bay Window

### Bray Type C

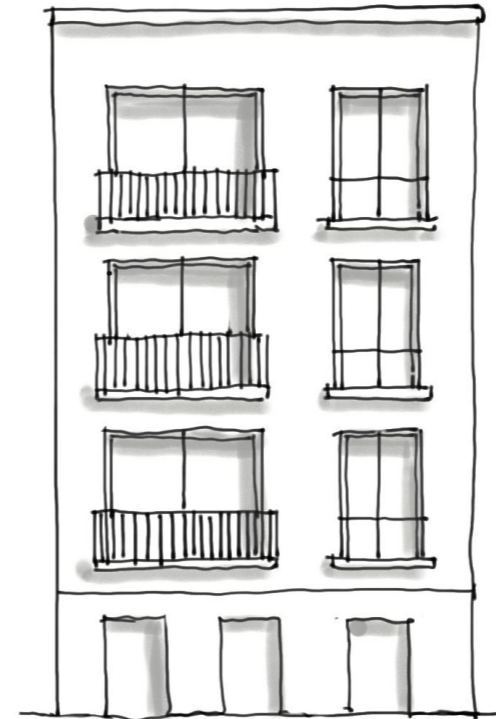


Traditional Terrace with Corner Projecting Bay

townhouse with a ground floor staircase combined to enter the property at mid-level. Type E and F are coastal types which take advantage of views out to the sea by forming a horizontal window proportion or a repetitive projecting bay window on the facade.

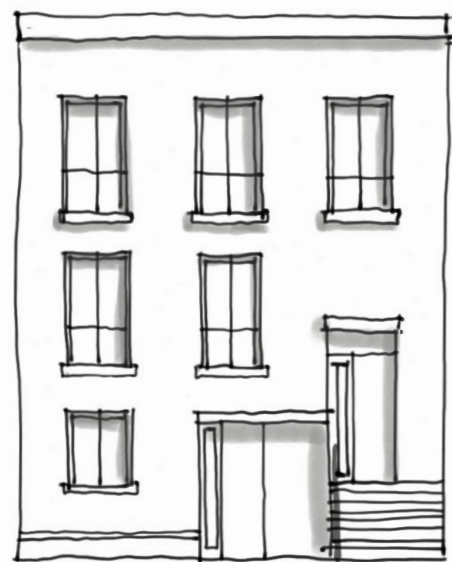
These types has been based on a traditional typology within the Quinsborough, Sidmonton, and Seafront areas of Bray, ensuring that the proposed houses have a strong connection to their given context. It is thought that applying such typologies in relation to specific character areas, will give a strong sense of narrative across the whole development.

**Bray Type E**



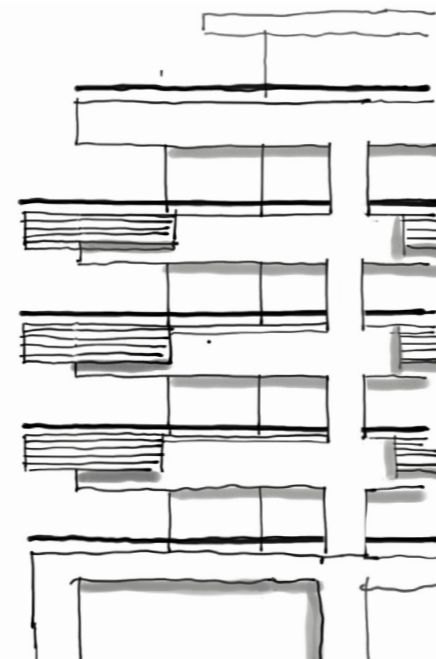
**Promenade Terrace with Large Bay windows**

**Bray Type D**



**Two and Half Storey Mid Level Entrance**

**Bray Type F**

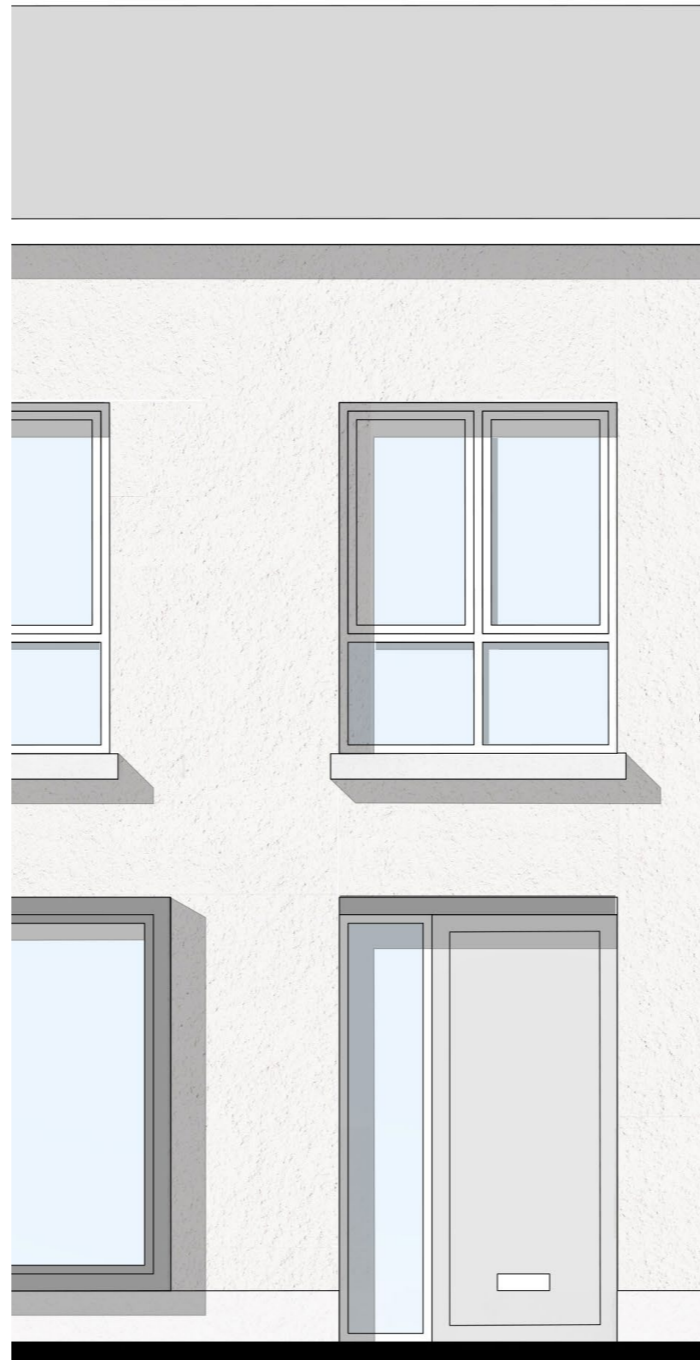


**Traditional Coastal House referencing art deco / nautical style**

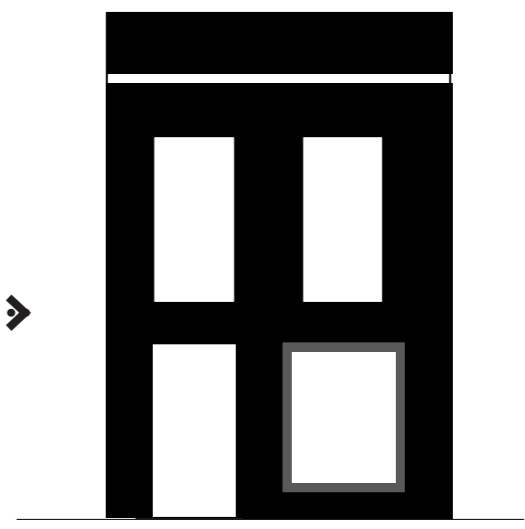
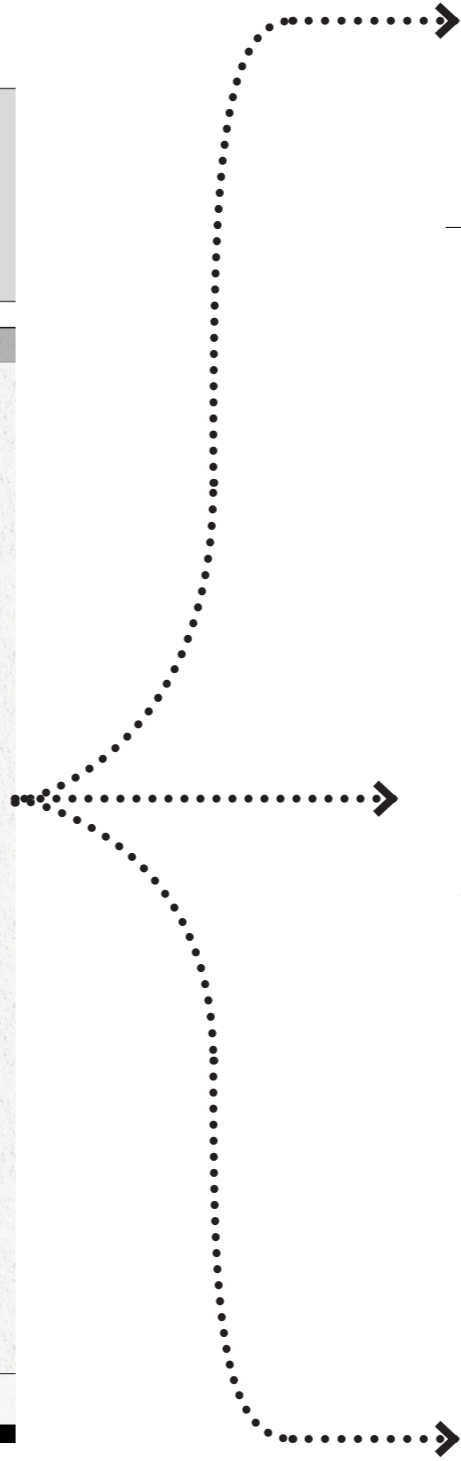


Traditional House

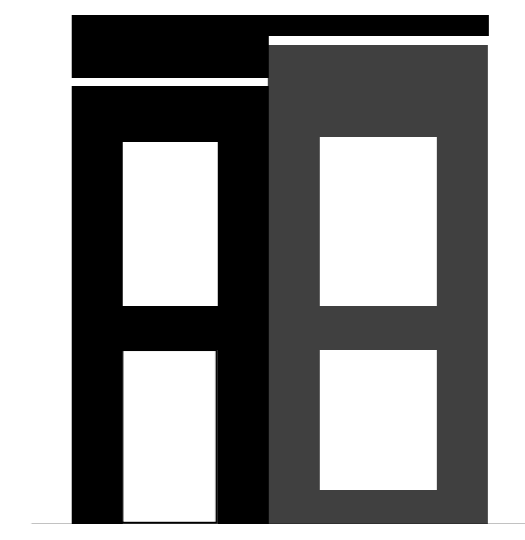
- Pitched Roof
- .....>
- Stone Capping
- .....>
- Slim Line Window
- .....>
- Stone Sill
- .....>
- Bay Window
- .....>
- Recessed Doorway
- .....>



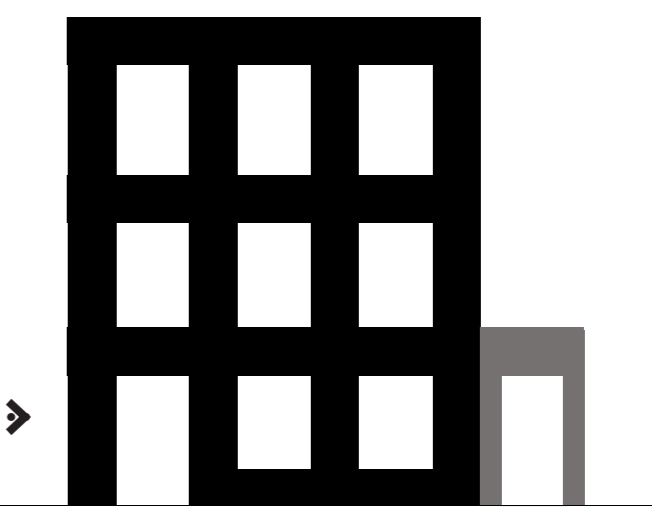
Modern House



Bray Type A



Bray Type B



Bray Type C

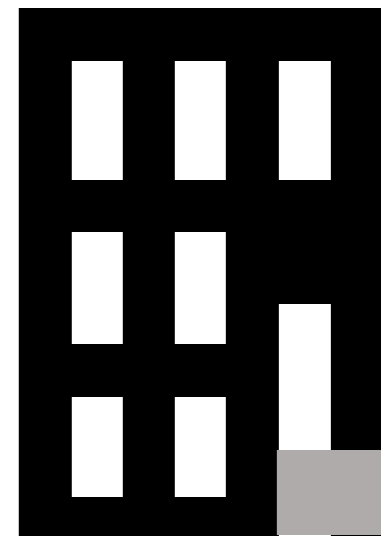
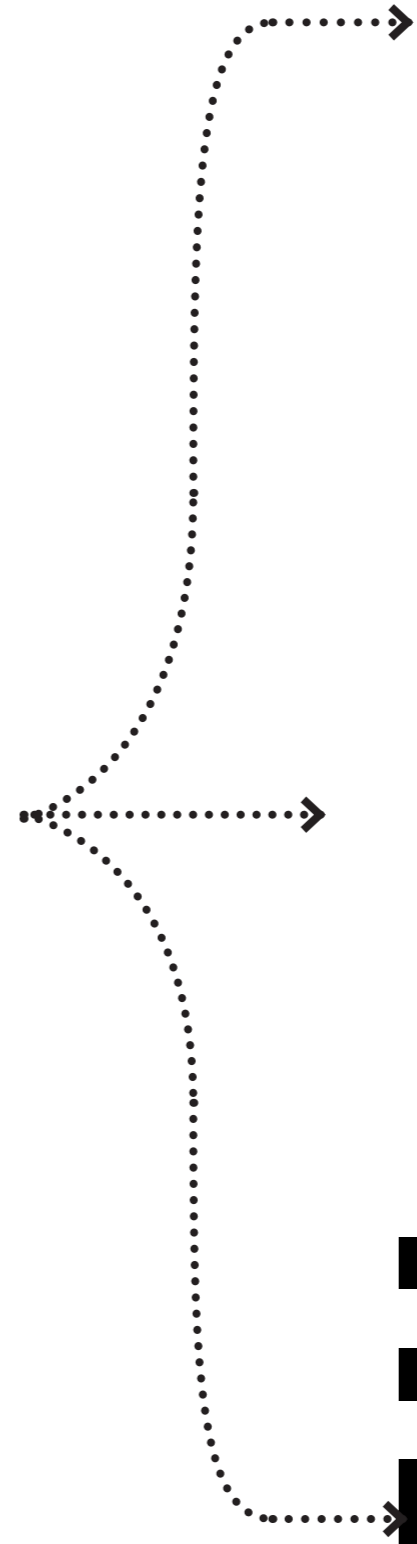


Traditional Terrace

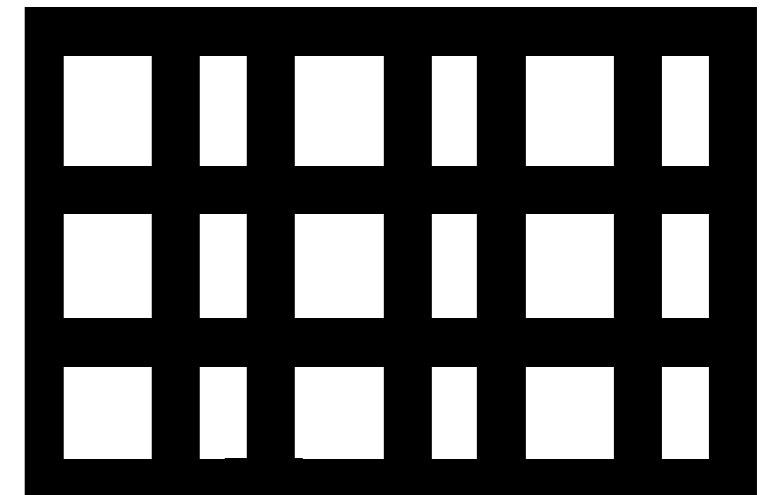
Stone Capping  
 .....>  
 Window Surround  
 .....>  
 Slim Line Window  
 .....>  
 Stone Sill  
 .....>  
 Stone Base  
 .....>



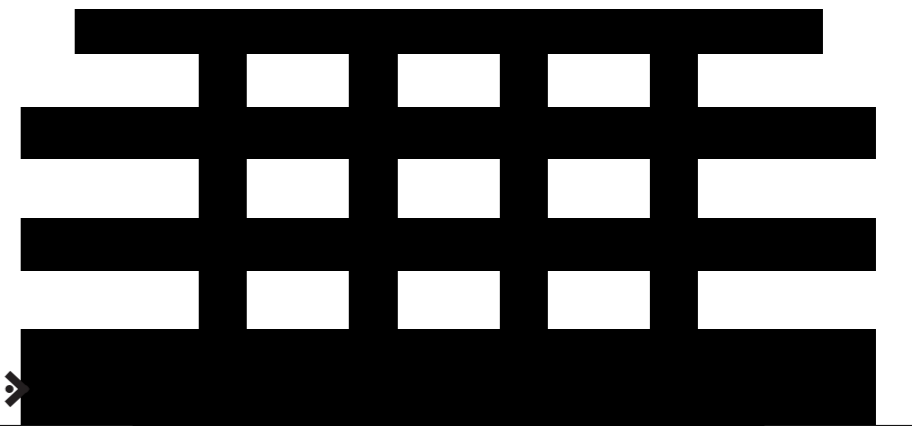
Modern Terrace



Bray Type D



Bray Type E



Bray Type F

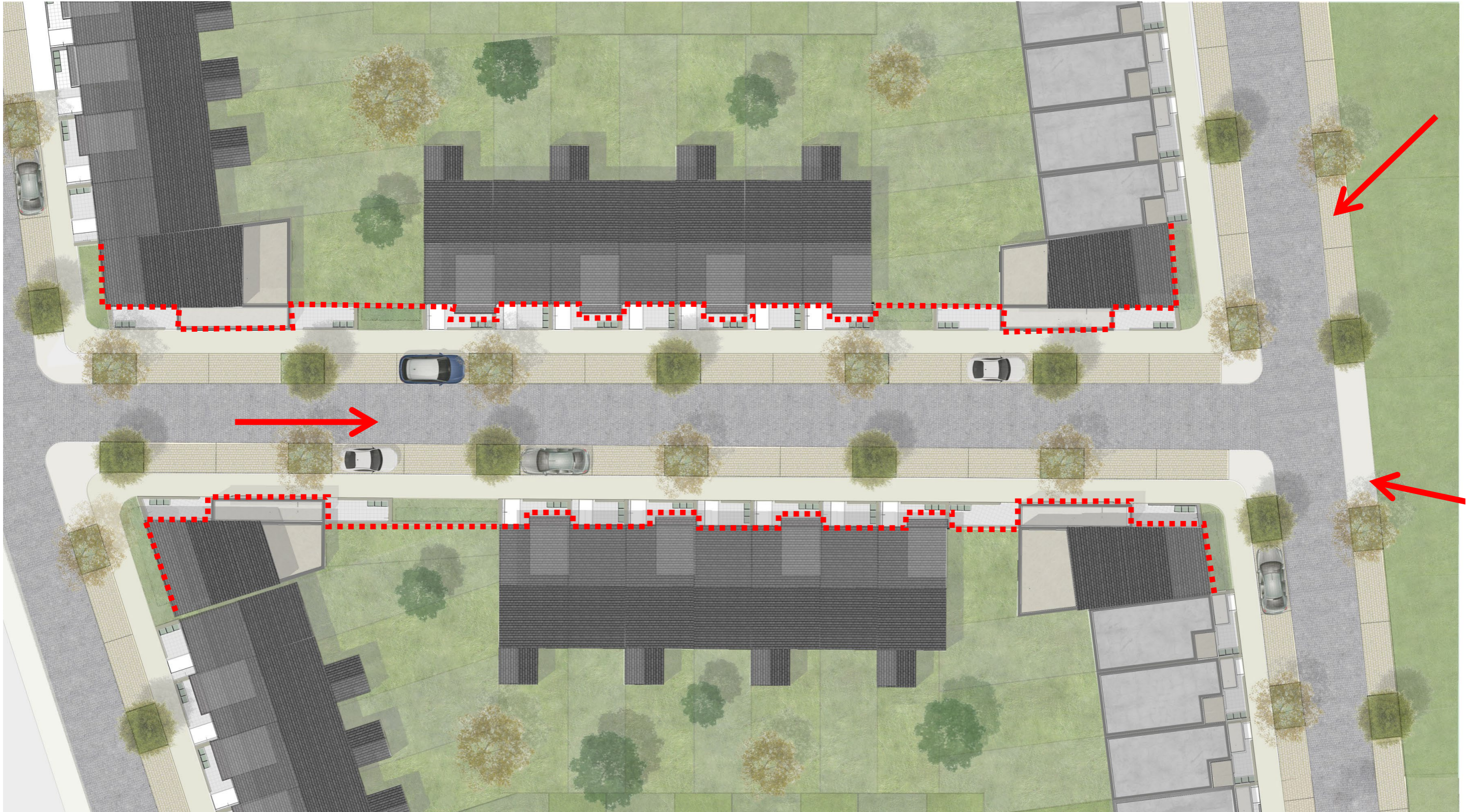
- Key
- Type A
  - Type B
  - Type C
  - Type D
  - Type E
  - Type F
  - Type G



# Masterplan Design Code

## 7.5 Streetscape







# Masterplan Design Code

## 7.6 Materials

Re-interpreting the Bray and coastal context with a modern contemporary manner is at the forefront of our decision-making, including the choice of materials. As previously identified, the vernacular material palette in Bray is predominately render, particularly in locations along the Seafront Promenade and Quinsborough Road. To ensure that the new development seamlessly blends in with the existing fabric of Bray, a simple and robust palette of materials has been carefully considered.

Render will be the principle material used across the site as it is in keeping with Bray and stands as a robust material against coastal conditions. Offsetting the houses with delicate detailing in stone and metal will be crucial to ensure the scheme is varied in textures and tones matching the quality of Bray.

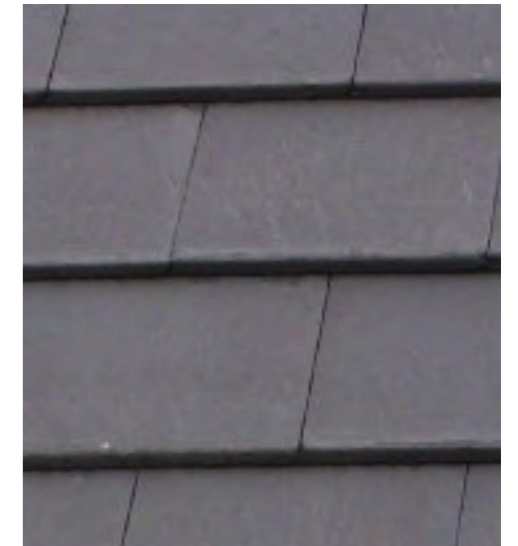
Another material that is prevalent in Bray is a dark red brick. In keeping with the standard for providing a robust material palette, brick will also be utilised mostly within the larger scale residential blocks. A seaside tonal palette should be considered to keep the buildings in keeping with the seaside palette and tones of the render in the remaining development.



Render



Brick



Pitched Roof

# Masterplan Design Code

## 7.7 Architecture Detailing

In order to do the site and its unique context justice, the scheme must convey a high level of quality through its architectural detail. To ensure there is a successful dialect between the existing and the proposed, a series of key architectural details must be identified that is not only aesthetically pleasing but also works with render to manage water. It is crucial that all copings, cappings, and sills project at a minimum of 40mm from the window reveal with a throating or drip detail to disperse water. Lintel details above door openings and window aperture should be integrated to shed water away. Detailed metalwork should be incorporated where possible, linking back to the detailing of the balustrades found elsewhere in Bray. Providing an ornate element to a modern building.



Rough / Smooth Render Detailing



Fine Metal Work



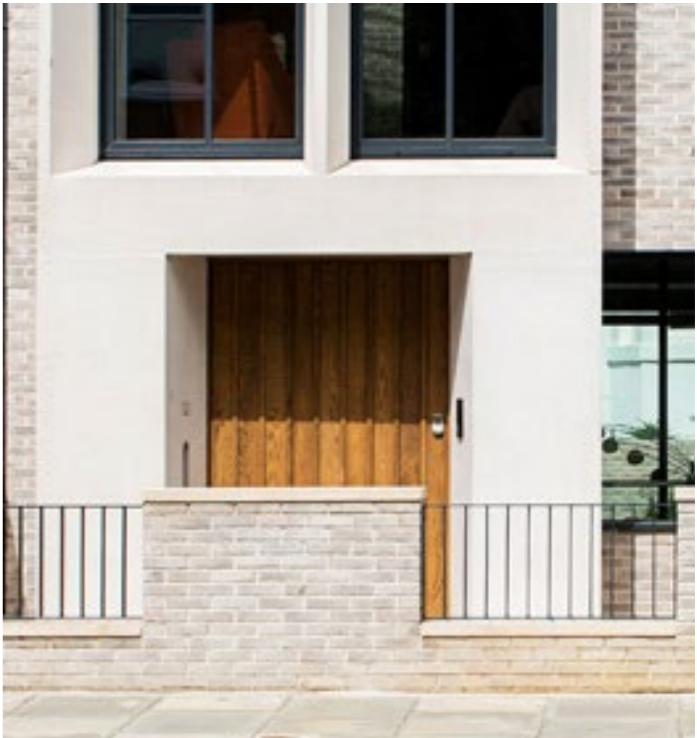
Contemporary Windows



Metal Window Box



Extended Stone Sills, Capping, Base



Contemporary Boundary Treatment

# Masterplan Design Code

## 7.8 Maintenance

To ensure that the proposed render system continues to perform functionally and aesthetically over the years, we acknowledge that the proposed render system will require regular maintenance, repairing and recoating over and above the standard system in coastal environments. Facades should be inspected on a regular basis to ensure that seals at interfaces and other details are performing as intended to prevent staining and algae. Also for this reason, only private houses and unit types will be allocated with the render finish, allowing users to easily repair and maintain facades.

Considerations:

Clean - Every 5 years

Re-paint - Every 10 years

Brick selection and specification will be important in ensuring the materials are robust and suitable for the coastal setting.

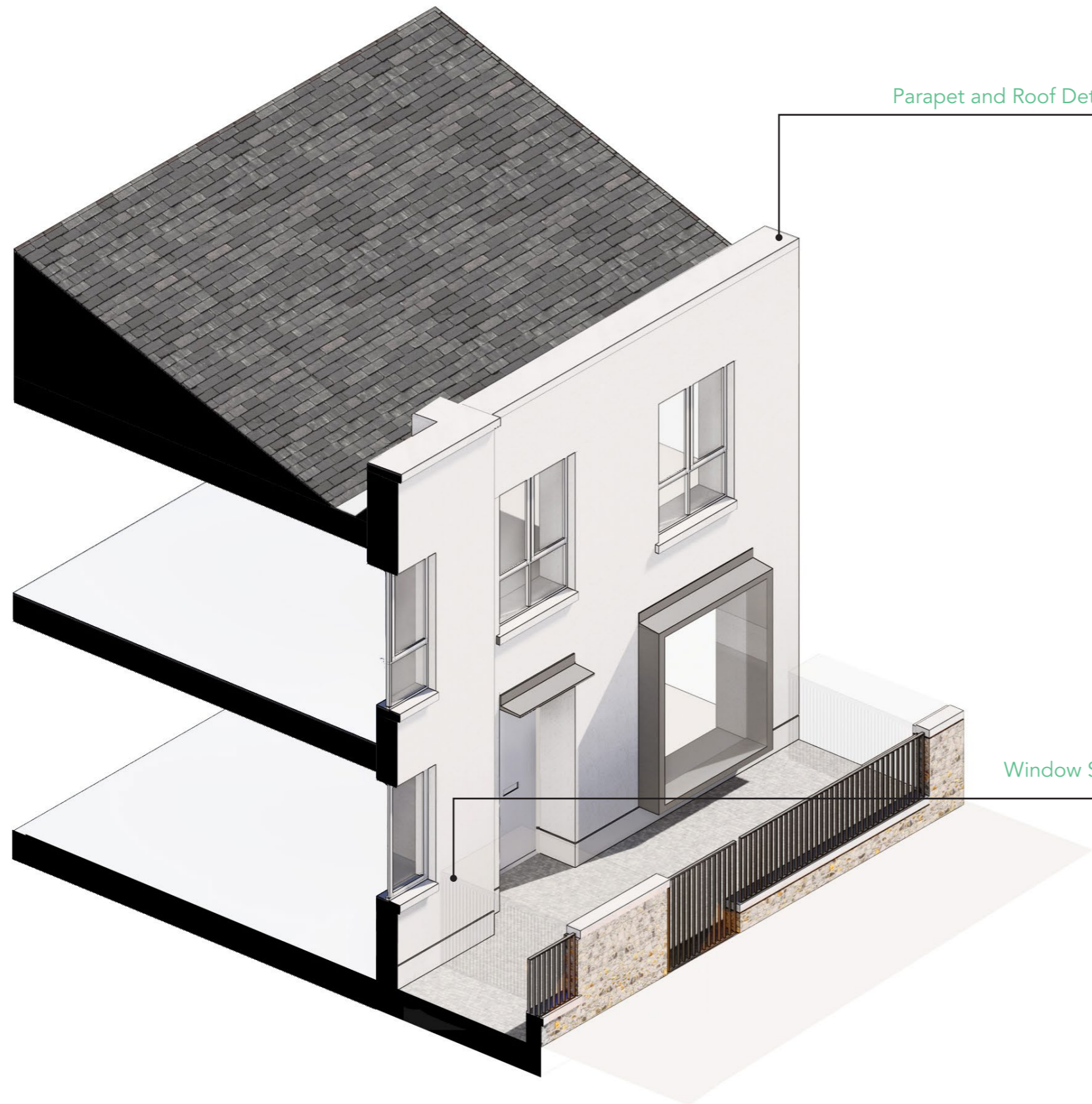


# Masterplan Design Code

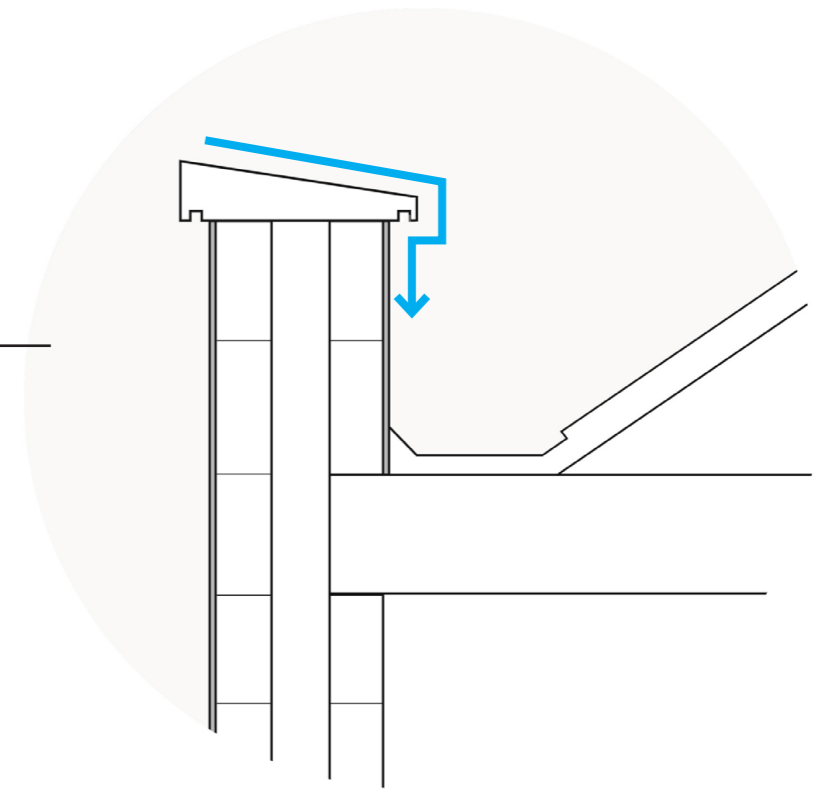
## 7.9 Architecture Proposals



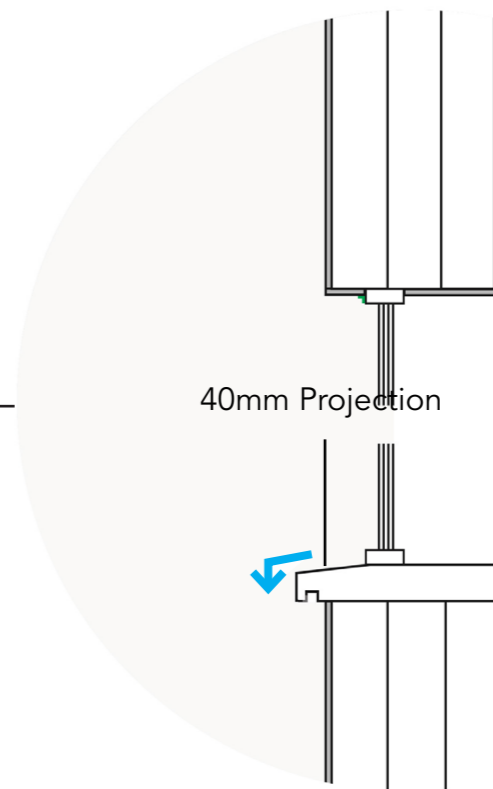
# Masterplan Design Code



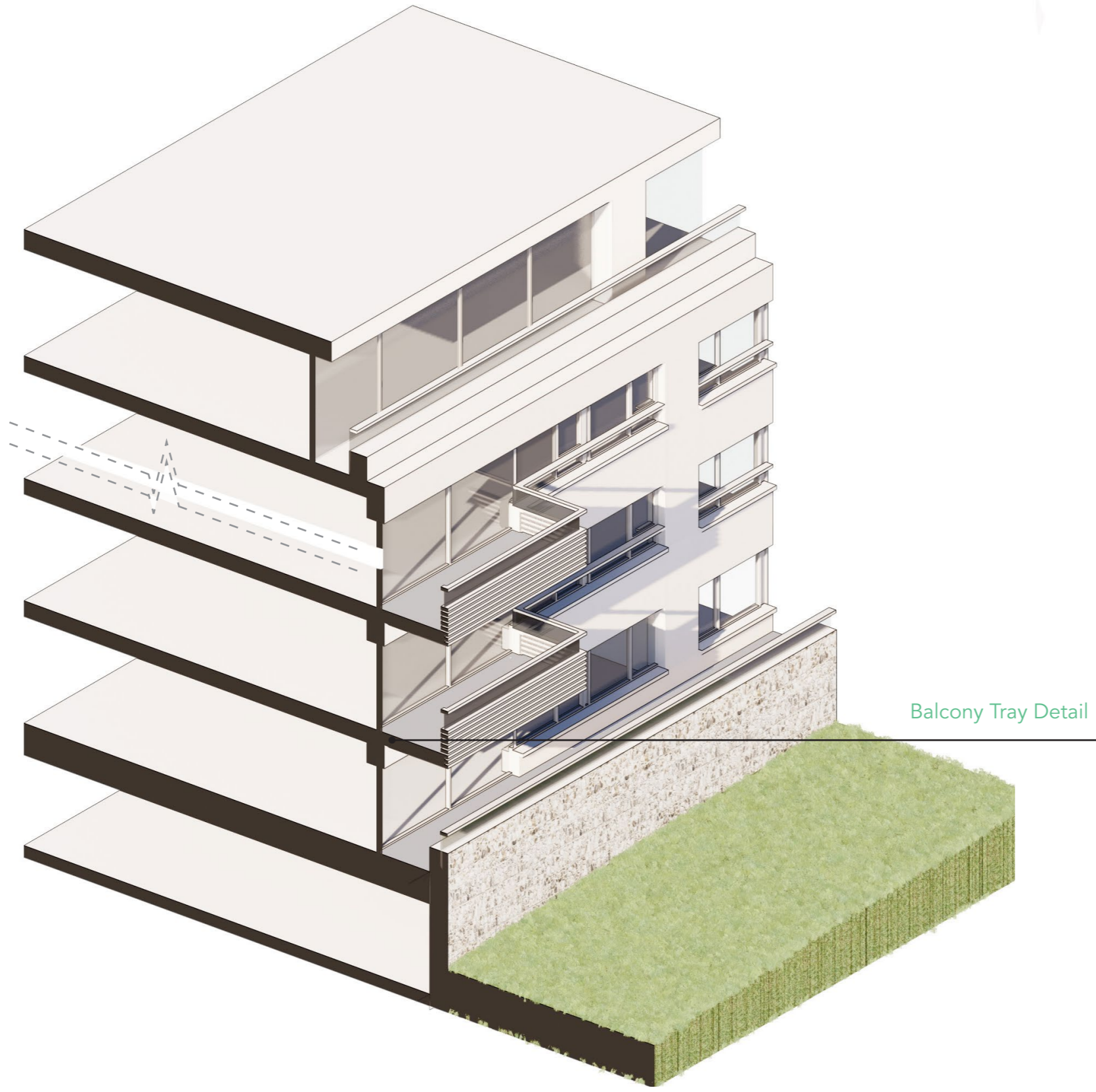
Parapet and Roof Detail



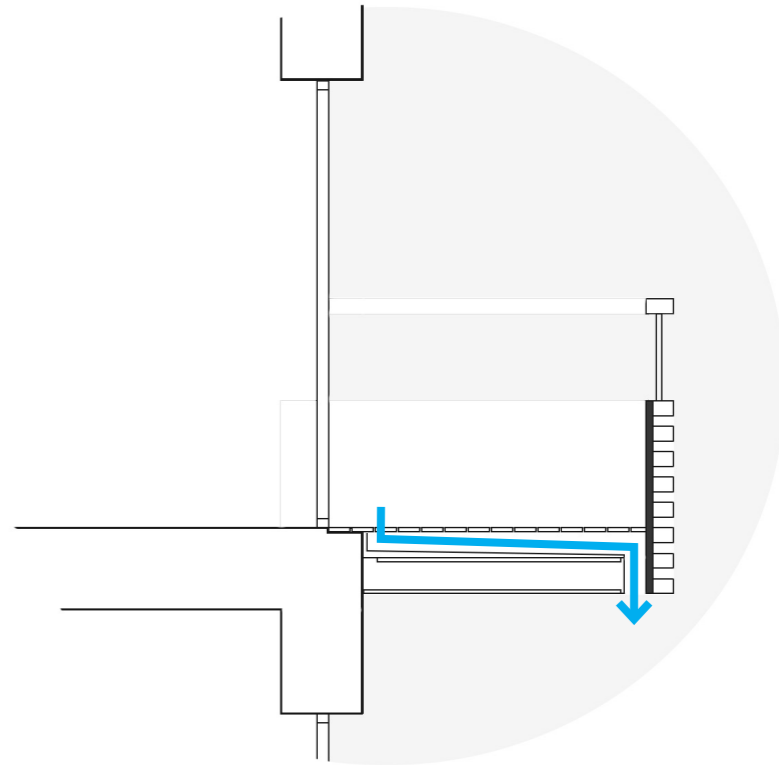
Window Sill Detail



# Masterplan Design Code



Balcony Tray Detail



# 7.10 Key Street Views - Home Zone Street

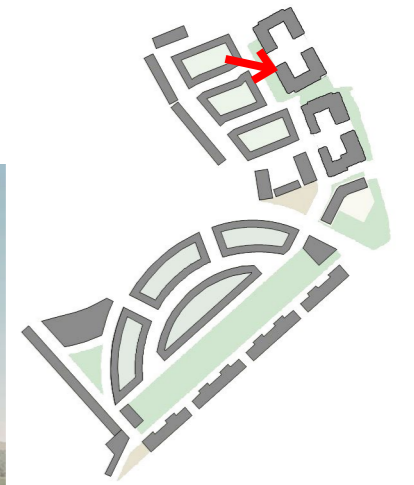


# Key Street View - Woodland Park View





# Key Street View - Woodland Park View 02



# Key Street View - Market Square

